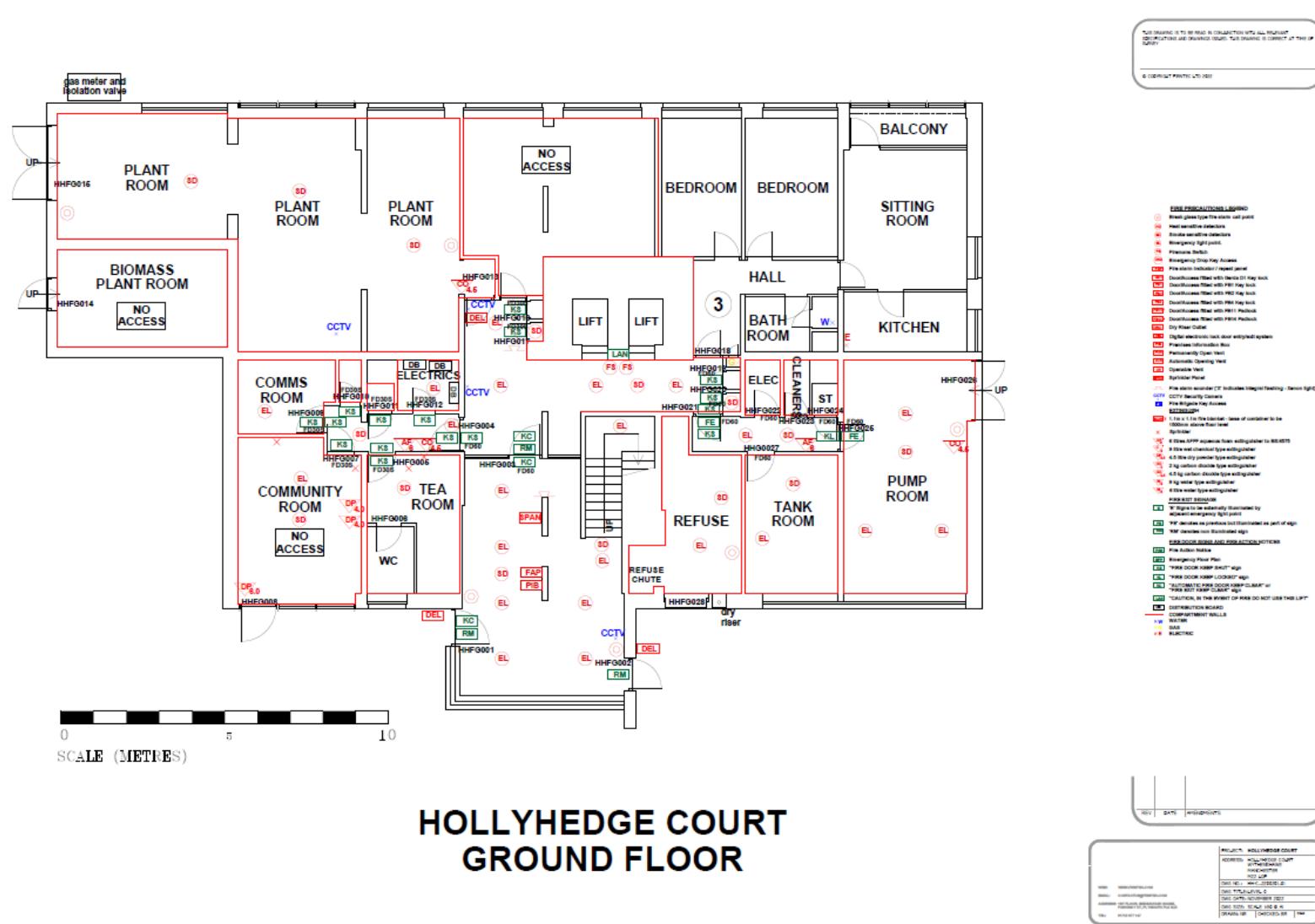


14. Appendix A –Floor plans

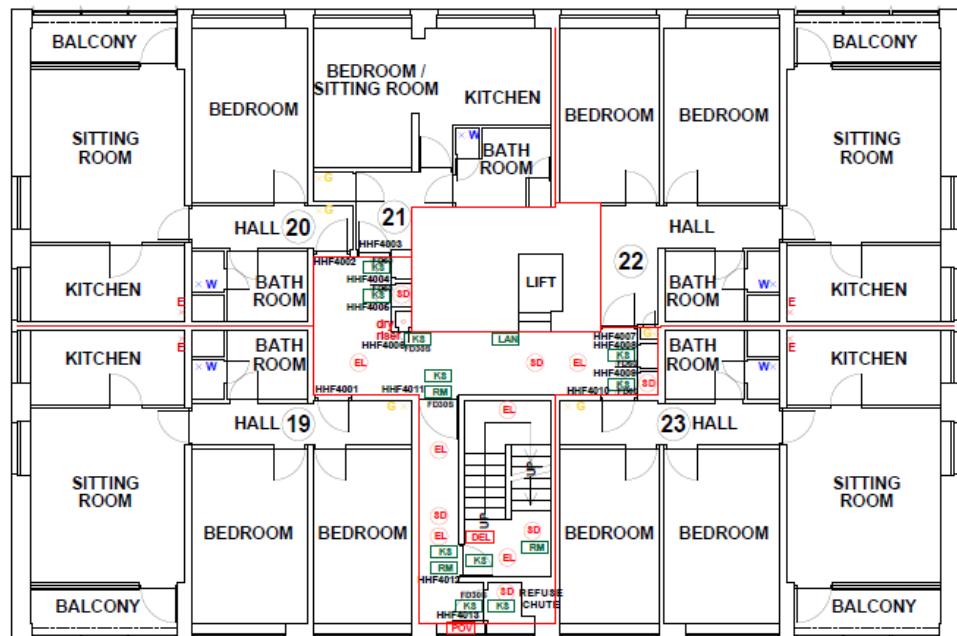
Ground Floor layout/ fire strategy plan



Fourth Floor layout (Typical floor) Fire Strategy Plan

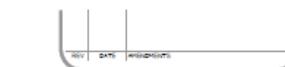
THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT
SPECIFICATIONS AND DRAWINGS ISSUED. THIS DRAWING IS CORRECT AT THE DATE
OF ISSUING

ANSWER PAGE 127

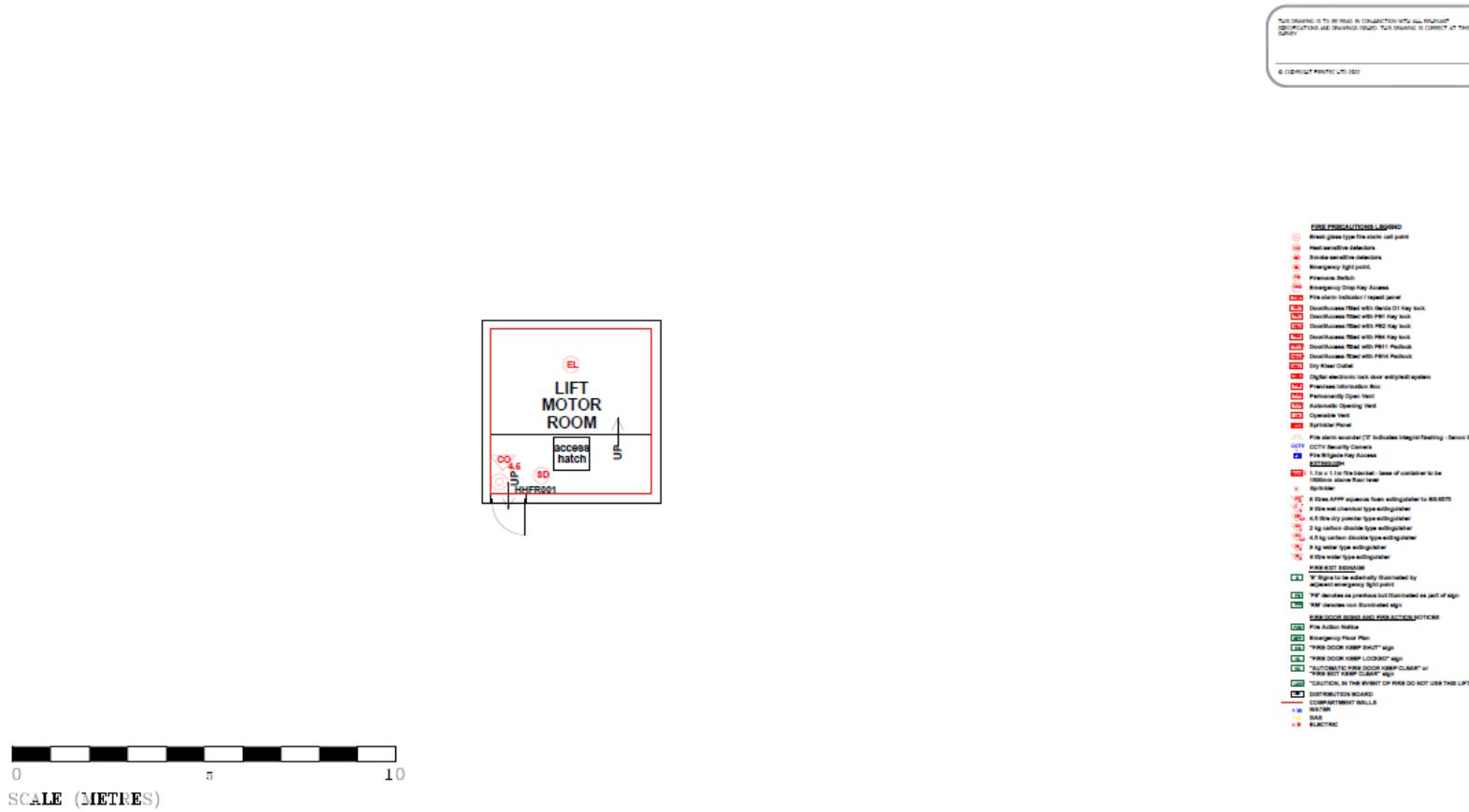


A horizontal scale bar divided into five equal segments. The first segment is black, and the subsequent four are white. Numerical labels '0', '5', and '10' are positioned at the left end, center, and right end respectively. Below the scale bar, the text 'SCALE (METRES)' is printed in a bold, sans-serif font.

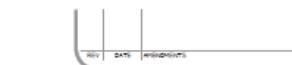
**HOLLYHEDGE COURT
FOURTH FLOOR**



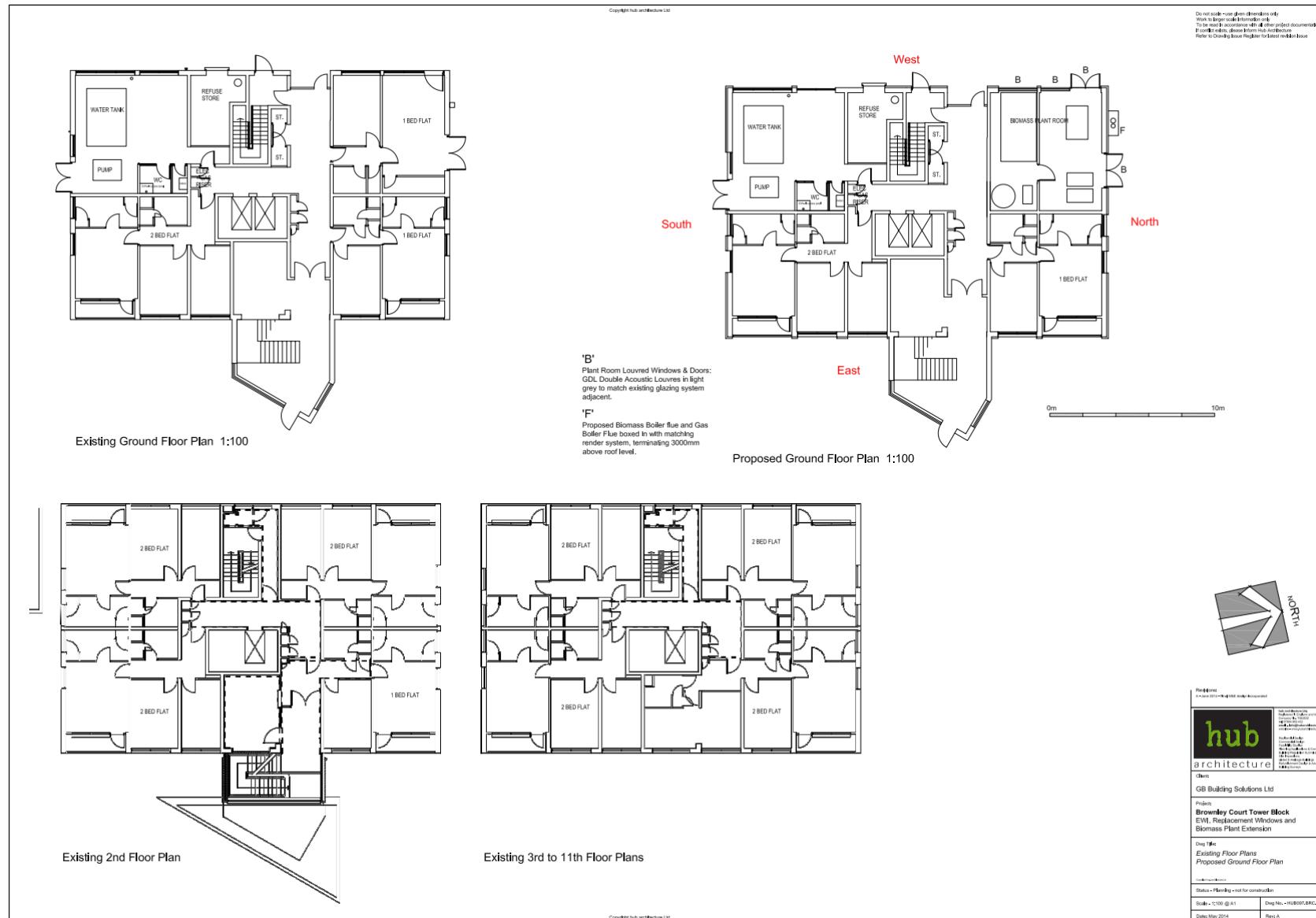
Roof Strategy Plan



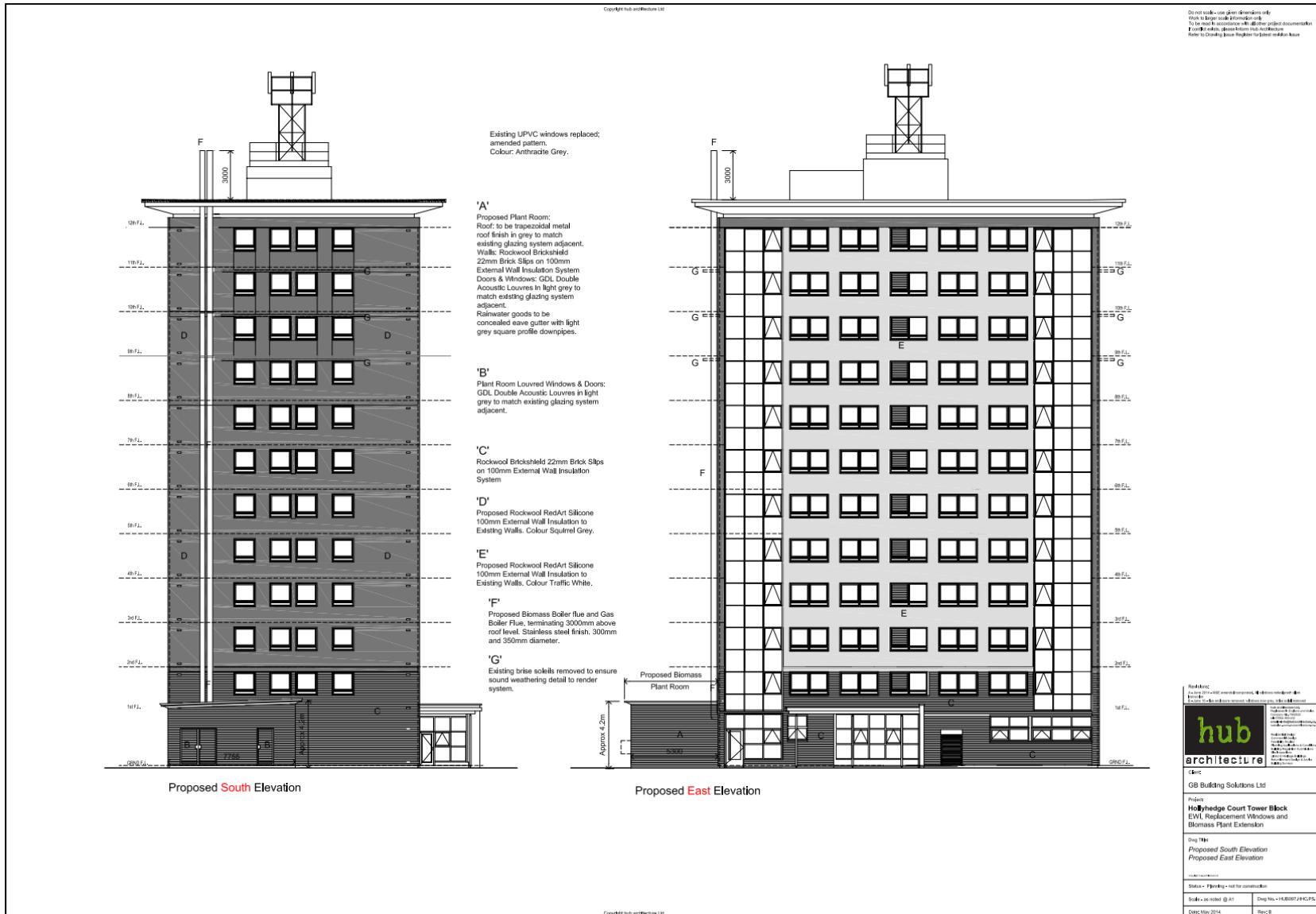
HOLLYHEDGE COURT ROOF SPACE



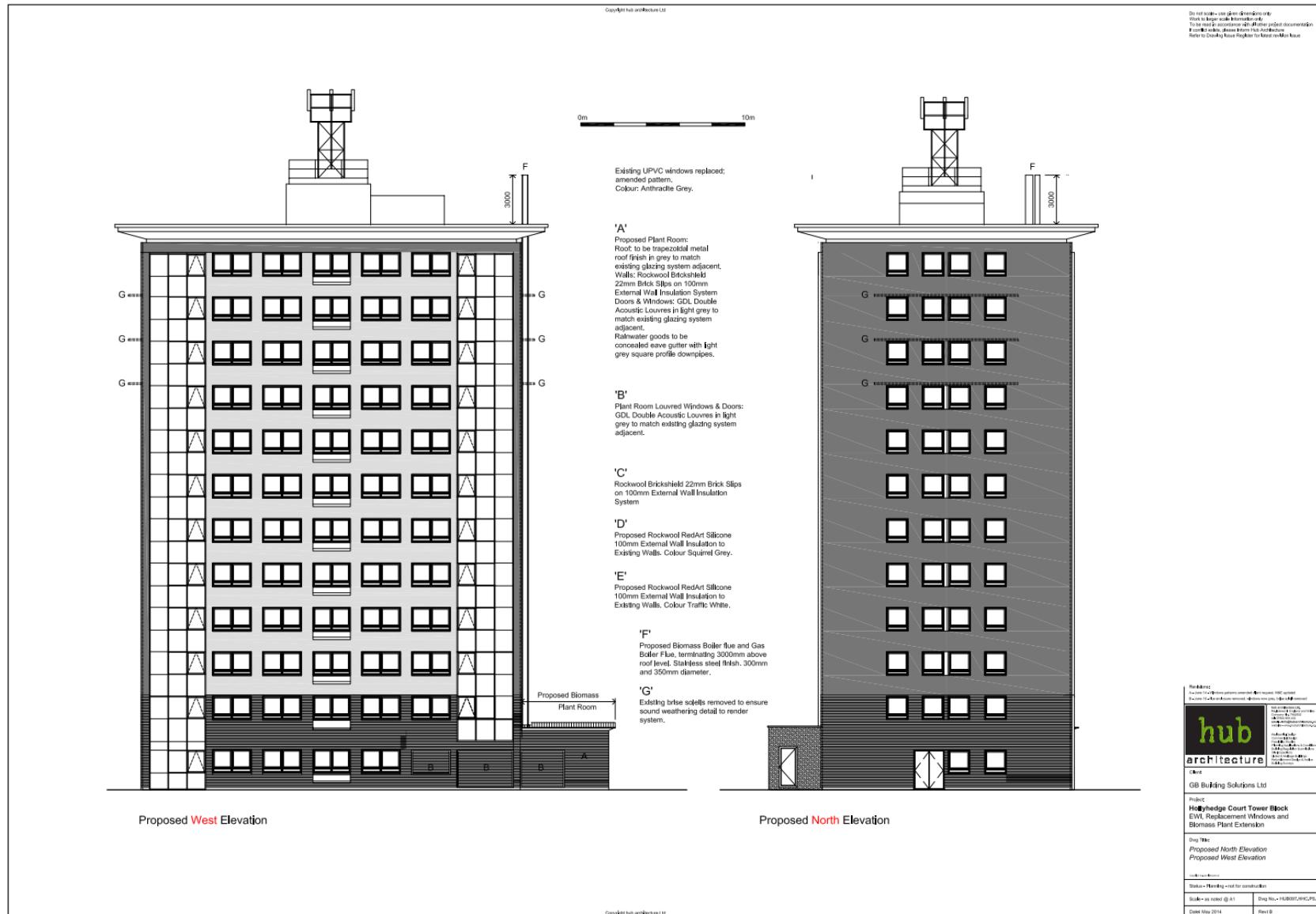
Bio-Mass installation before and after plans



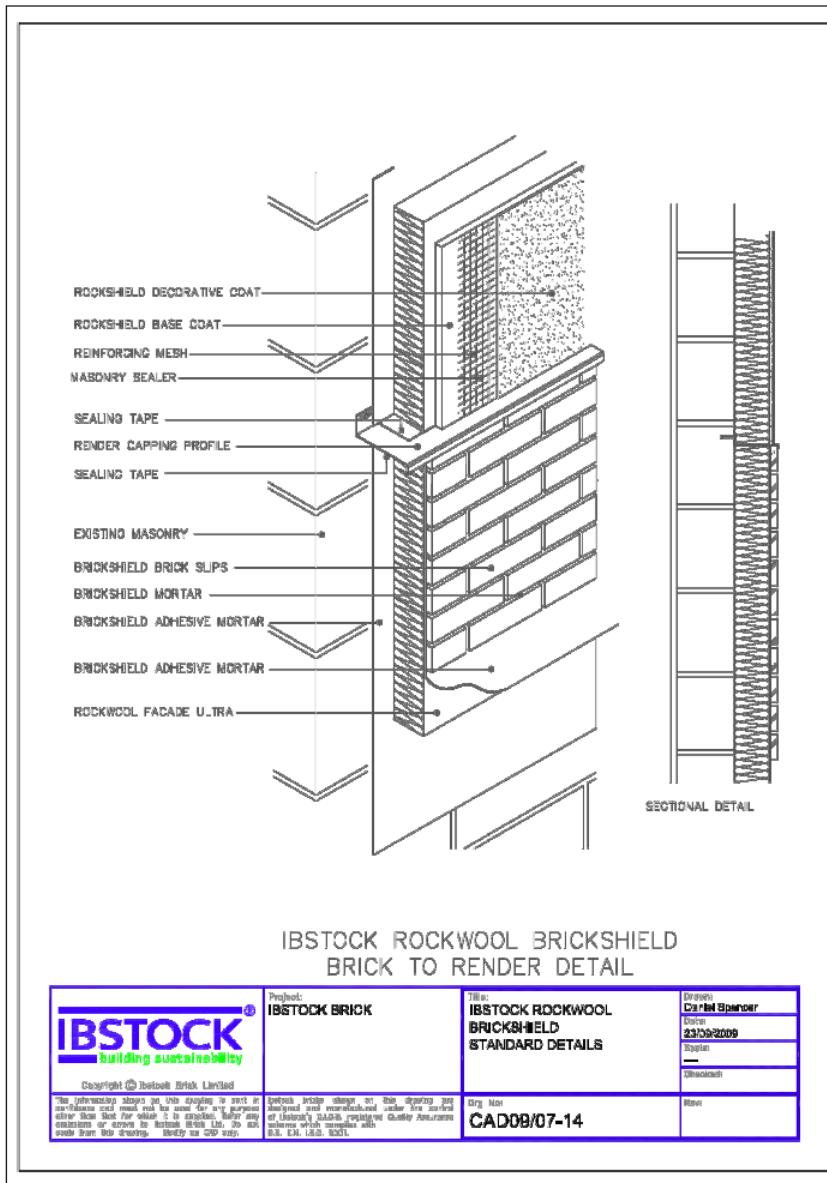
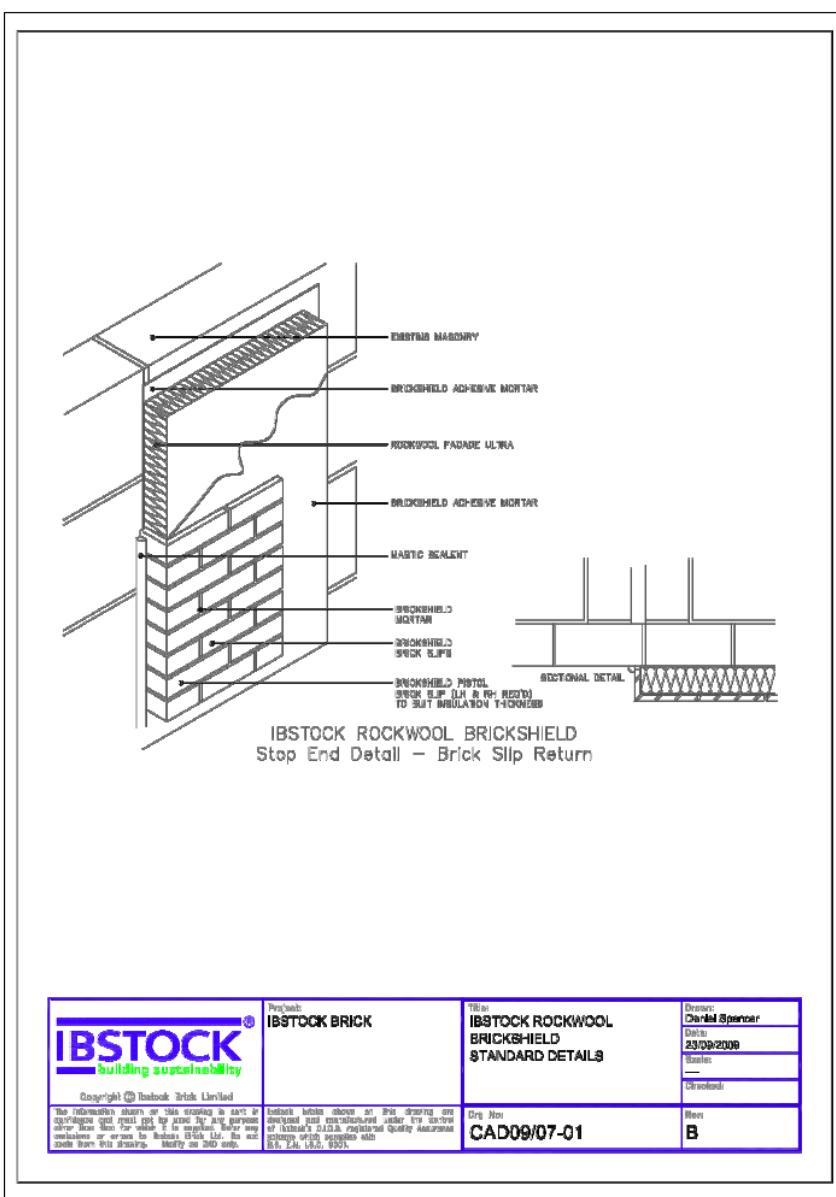
External Wall Insulation South and East Elevations



External Wall Insulation North and West Elevations



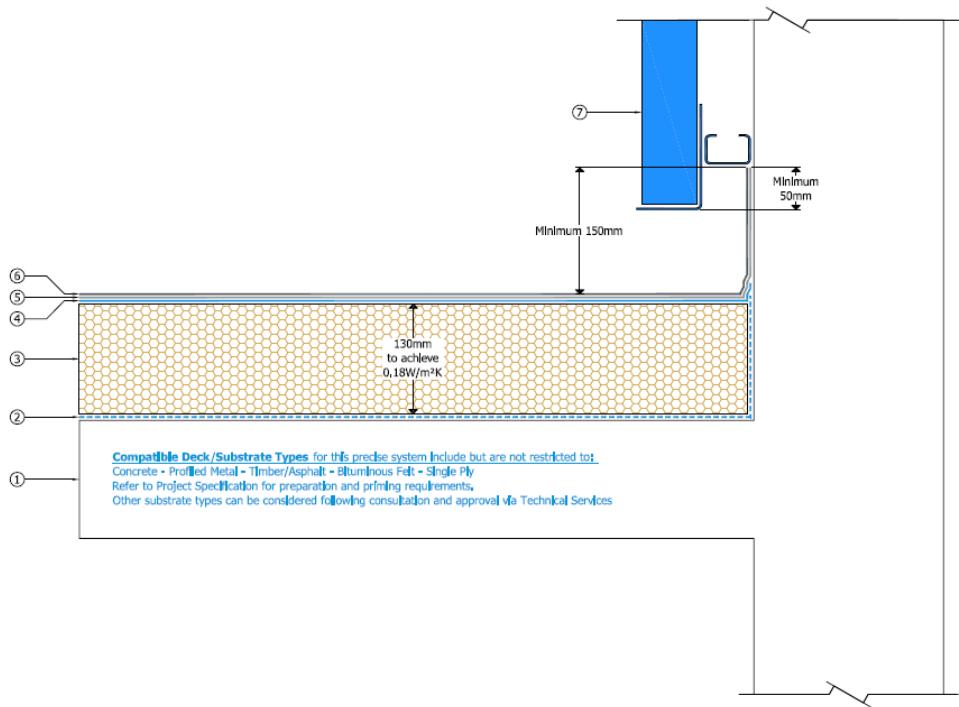
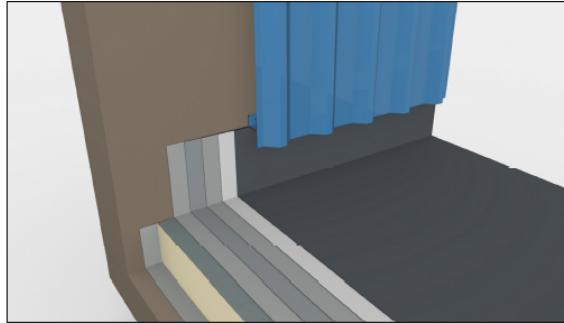
EWI Render Detailing



Roofing Build up

Key

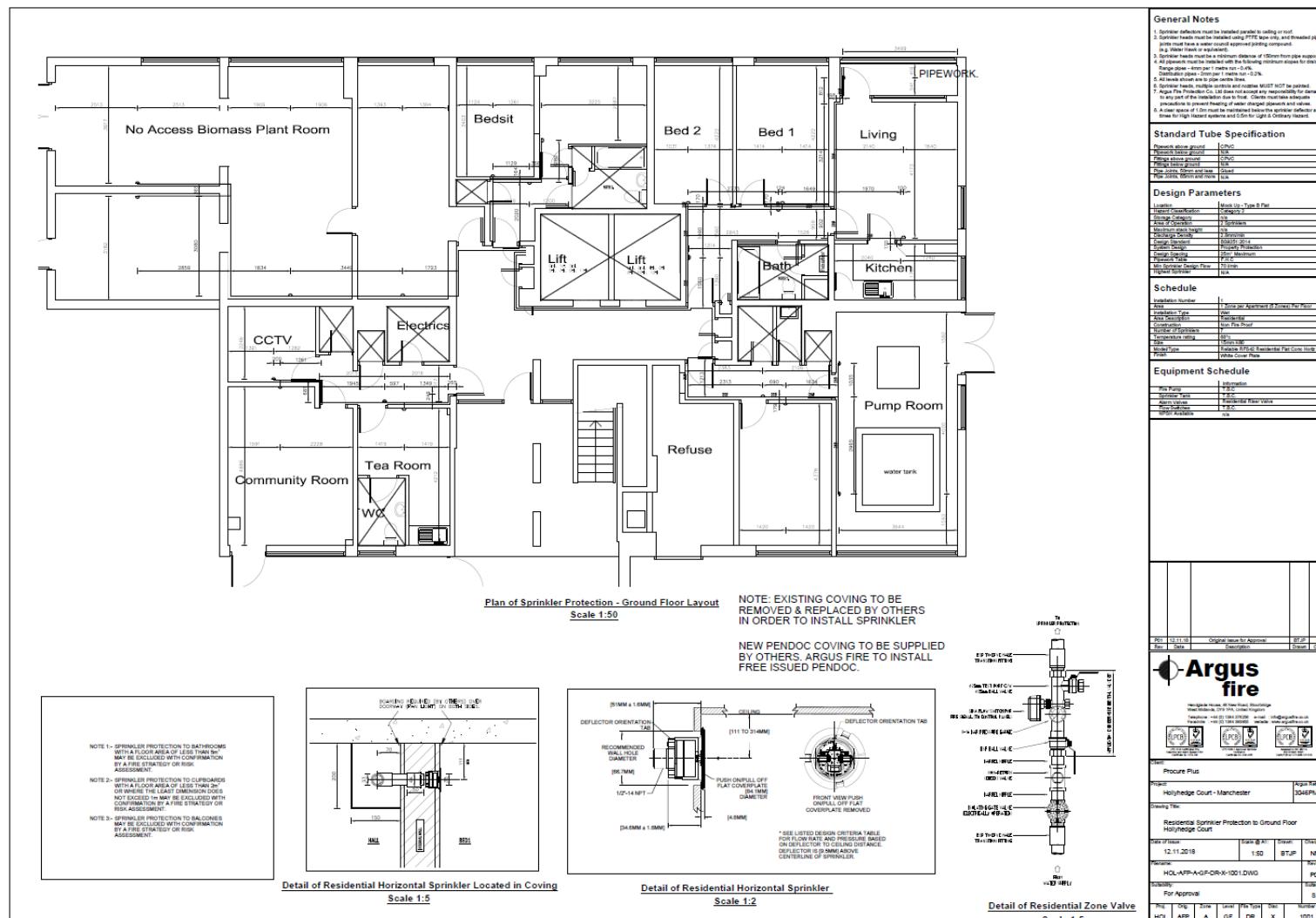
- ① Existing deck/substrate prepared in strict accordance with Sika Liquid Plastics Project Specification
- ②  **S-Vap 5000E SA** [as Vapour Control Layer (where required) or suitable alternative **by others**] applied in strict accordance with Sika Liquid Plastics Project Specification
- ③  **Decotherm PIR Insulation** [or suitable alternative **by others**] bonded in strict accordance with Sika Liquid Plastics Project Specification
- ④  **S-Vap 5000E SA** [as Carrier Membrane or suitable alternative **by others**] applied in strict accordance with Sika Liquid Plastics Project Specification
- ⑤  **Sika Liquid Applied EMBEDMENT COAT** fully reinforced with **Sika Reemat Premium** glass fibre matting in strict accordance with Sika Liquid Plastics Project Specification
- ⑥  **Sika Liquid Applied TOP COAT** applied in strict accordance with Sika Liquid Plastics Project Specification
- ⑦ **EXISTING CLADDING:** Release existing cladding to allow access to the upstand during waterproofing application and reinstate to provide minimum 50mm weathering lap
NOTE: Exercise caution during exposed periods to prevent water ingress
NEW CLADDING: Installed in accordance with manufacturers instructions to provide a minimum 50mm weathering lap to the exposed edge of the Sika Liquid Applied Membrane



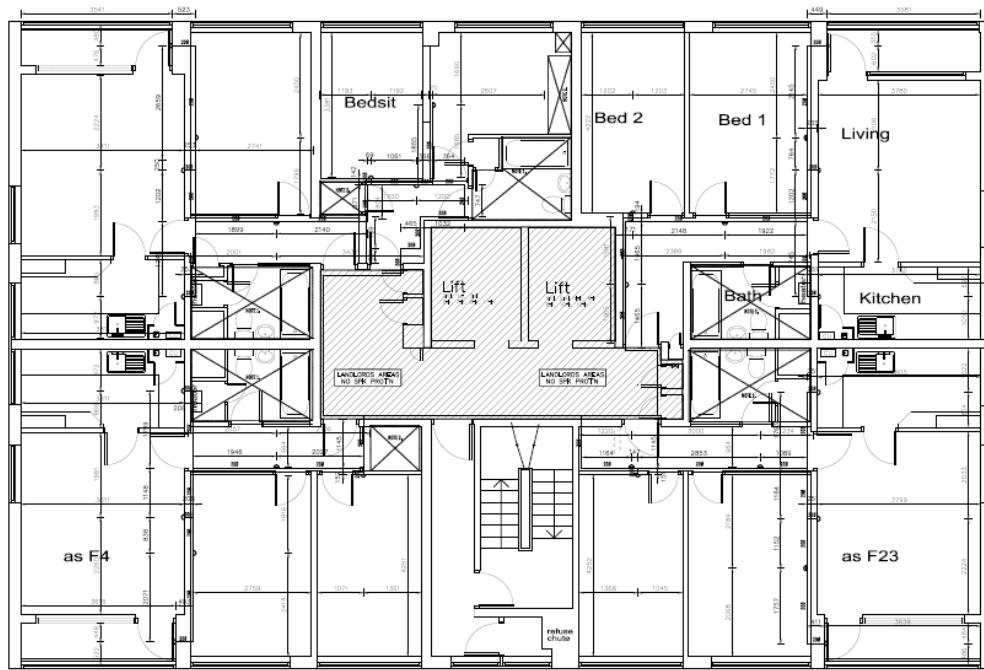
Incoming mains and Isolation points.



Sprinkler installation Ground Floor



Sprinkler installation typical mid floor.

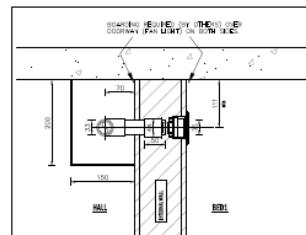


Plan of Sprinkler Protection - Typical Layout

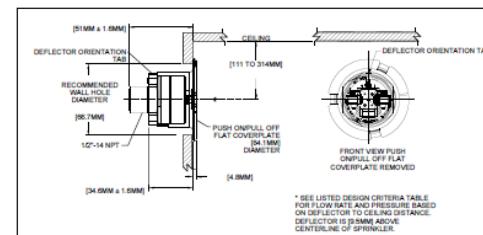
NOTE 1- SPRINKLER PROTECTION TO BATHROOMS WITH A FLOOR AREA OF LESS THAN 5m² MAY BE EXCLUDED WITH CONFIRMATION BY A FIRE STRATEGY OR RISK ASSESSMENT.

NOTE 2- SPRINKLER PROTECTION TO CUPBOARDS WITH A FLOOR AREA OF LESS THAN 2m² OR WHERE THE LEAST DIMENSION DOES NOT EXCEED 1m MAY BE EXCLUDED WITH CONFIRMATION BY A FIRE STRATEGY OR RISK ASSESSMENT.

**NOTE 3: SPRINKLER PROTECTION TO BALCONIES
MAY BE EXCLUDED WITH CONFIRMATION
BY A FIRE STRATEGY OR RISK
ASSESSMENT.**



Detail of Residential Horizontal Sprinkler Located in Coving



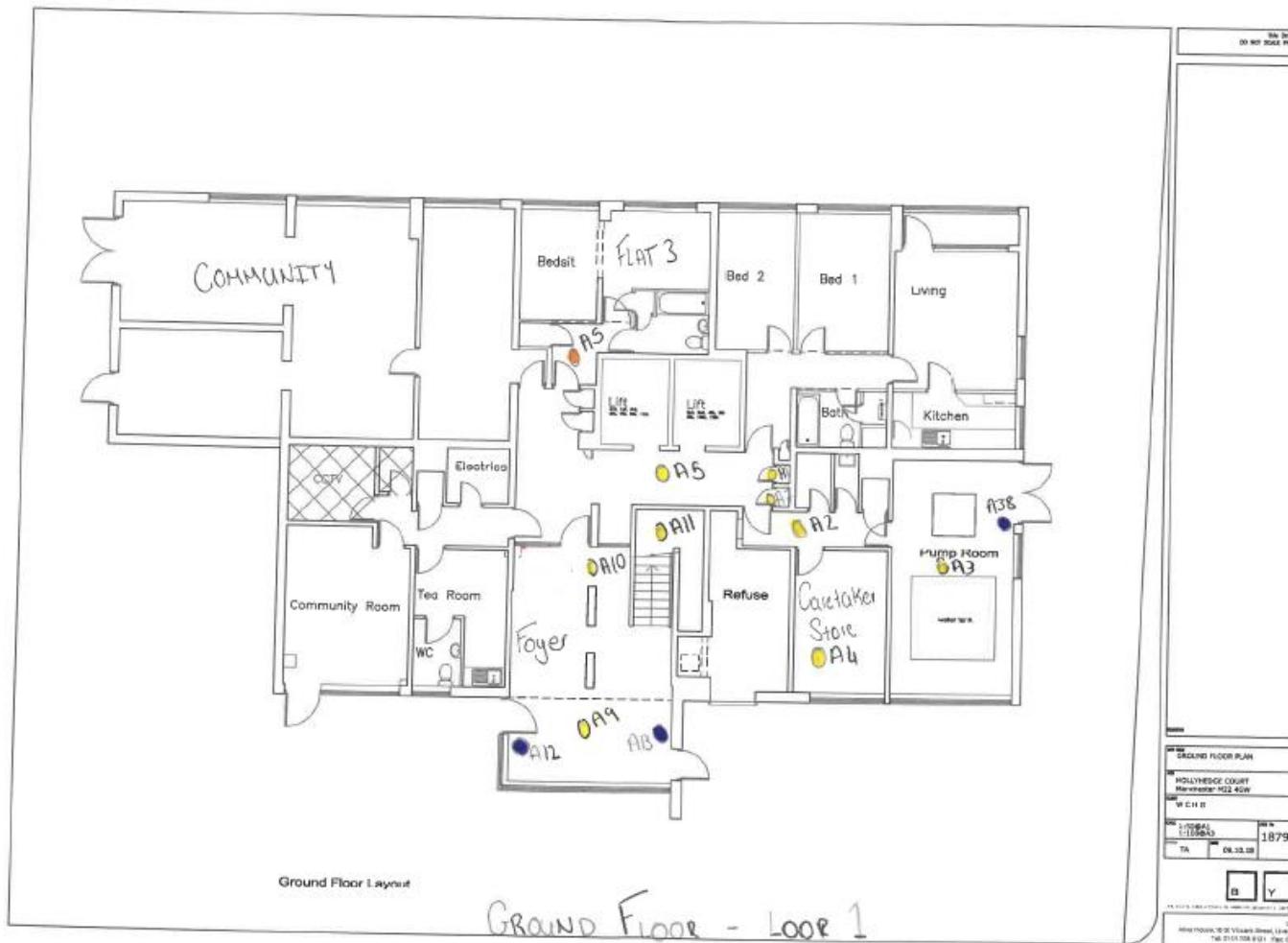
Detail of Residential Horizontal Sprinkler
Scale 1:2

* SEE LISTED DESIGN CRITERIA TABLE FOR FLOW RATE AND PRESSURE BASED ON DEFLECTOR TO CEILING DISTANCE. DEFLECTOR IS 935MM ABOVE CENTERLINE OF SPRINKLER.

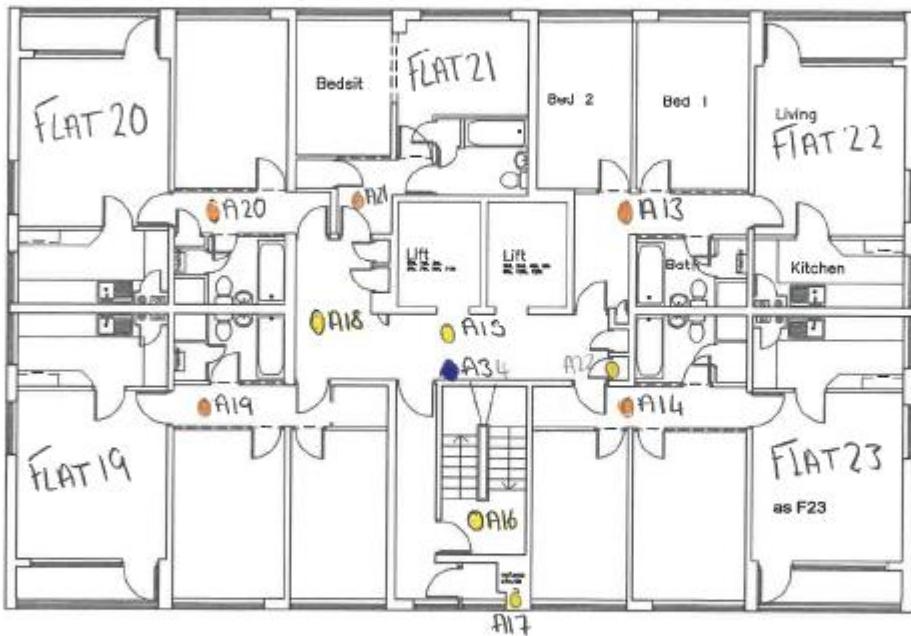
Detailed Notes																																							
1. Sprinkler deflector must be installed parallel to ceiling or roof.																																							
2. Sprinkler heads must be installed using PTFE tape only, and threaded pipe must have a water tightness expressed joining compound.																																							
3. Sprinkler heads must be a minimum distance of 100mm from pipe supports, fittings, valves, and other equipment. A maximum slope for damage range - 4mm per 1 m metre run - 0.4%.																																							
4. All pipe must be a minimum of 12.7mm (1/2") and a maximum of 22.2mm (3/4").																																							
5. All walls should be to paint grade lines.																																							
6. Argus Fire Protection Co. Ltd does not accept any responsibility for damage to any part of the building or its contents from fire or explosion.																																							
7. All pipe must be a minimum of 12.7mm (1/2") and a maximum of 22.2mm (3/4") and a maximum slope for damage range - 4mm per 1 m metre run - 0.4%.																																							
8. A clear space of 120mm must be maintained between the sprinkler deflector and all pipes for high hazard systems and 60mm for Light & Ordinary hazard.																																							
Standard Tableau Specification																																							
Piping above ground 100%																																							
Piping below ground 100%																																							
Fitting below ground 100%																																							
Fitting above ground 100%																																							
Piping and fittings 100%																																							
Design Parameters																																							
Location	Mock Up - Type B Flat																																						
System Description	100% Coverage																																						
Storage Category	High Risk																																						
Maximum Pipe Height	1.8m																																						
Storage Density	100% Occupied																																						
System Design	Sprinkler Protection																																						
Piping Type	PVC																																						
Piping Size	12.7mm (1/2")																																						
Height System	1.2m																																						
Height Deflector	1.2m																																						
Height Sprinkler	1.2m																																						
Schedule																																							
Installation Number	1																																						
1. Access to Approved & Authorised Contractor																																							
Installation Type	Direct																																						
Approval Type	None																																						
Concentration	Over Fire Proof																																						
Number of Sprinklers	100%																																						
Number of Fittings	100%																																						
Size	12.7mm (1/2")																																						
Material	PVC																																						
Code	BS EN 16002-1:2010 Standardised Fire Line (EN 16002-1)																																						
Finish	White Cover Plate																																						
Equipment Schedule																																							
Fire Pump	1 P.T.																																						
Suppression Failsafe	1 P.T.																																						
Suppression Failsafe Rate Value	1 P.T.																																						
Suppression Failsafe Rate	1 P.T.																																						
Order Analytics	N/A																																						
<table border="1"> <tr> <td> </td> </tr> <tr> <td> </td> </tr> <tr> <td> </td> </tr> </table>																																							
Ref. No.	12.11.16	Original Issue for Approval:	BT.07	NM																																			
Ref. No.	Date	Description	Created																																				
 <h1>Argus fire</h1> <p>Argus Fire Protection Co. Ltd Head Office: 10 New Road, Birstallgate West Yorkshire, LS22 5JL, United Kingdom Telephone: +44 (0) 1384 372300 Email: info@argusfire.co.uk</p> <p>  </p>																																							
Procure Plus																																							
Project	Residential Sprinkler Protection to Typical Floor																																						
Hollyhedge Court - Manchester																																							
Drawing Ref.	Argus Ref. 3046/PMM/2																																						
Drawing Title																																							
Residential Sprinkler Protection to Typical Floor																																							
Hollyhedge Court																																							
Date of Issue	12.11.2016	Issue No.	1.00	Print:	BT/JP	Check:	NM																																
Filename	HOL-APP-A-ZZ-DR-X-1001.DWG																																						
Validity	10 Years																																						
For Approval																																							
Print	Hot	APP	A	Level	ZZ	DR	Doc	1001																															

Fire Alarm installation – Ground Floor

Hollyhedge Court



Fire alarm installation Typical intermediate floor.



FORTH Floor - Loop 2

Upper Floor Layout 1st - 11th

This Graphics & Controls
DO NOT SCALE FROM THIS GRAPHIC

NOTEBOOK

UPPER FLOOR PLAN
HOLLYHEDGE COURT
Manchester M22 4GW
WCHG

1879/802

卷之三

Alma House, 12 St. Vincents Street, Liverpool, L3 3EW
Tel: 0151 705 6111, Fax: 0151 705 3030

15.Appendix B – Surveys and Reports

Building Regulation Certificate for EWI work



Building Regulations Certificate of Completion

The Building Act 1984 (as amended)
The Building Regulations 2010 (as amended)

Reference Number: DALFP/17/00104

Applicant:

Mr Ian Stansfield
Wates Construction Ltd
4th Floor The Royals
353 Altrincham Road
Manchester

Description of Work:

EWI installation to 3No 12 storey tower blocks

Location of Building:

Hollyhedge Court Only
Manchester
M22 4GW

Deposit of Particulars:

A Full plans application was deposited on 2nd February 2017 under the Building Regulations Section 1(3) of the Building Act 1984.

Work Completed on: 2nd November 2017

Compliance with the Building Regulations as stated in Regulation 17:

The above mentioned work has been inspected by the Building Control Section of Manchester City Council and as far as can be ascertained the work has been carried out so that the relevant provisions of the Building Regulations have been complied with.

Limitations of the Certificate:

This document does not convey approval under any other legislation other than the Building Regulations and associated legislation. A 'Certificate of Completion' is evidence (but not conclusive evidence) that the requirements specified in the certificate have been complied with. A 'Certificate of Completion' is not an approval of the quality of the work carried out.

Authority:

This Completion Certificate is authorised by Julie Roscoe, Head of Planning, Building Control & Licensing.

Signature:

A handwritten signature in black ink, appearing to read 'Julie Roscoe'.

Date: 2nd November 2017



www.manchester.gov.uk

Sureserve Survey

Section 1

Client	Sureserve Fire Electrical
Site Address	Hollyhedge Court
Date/Time	18/05/22

FRA Actions

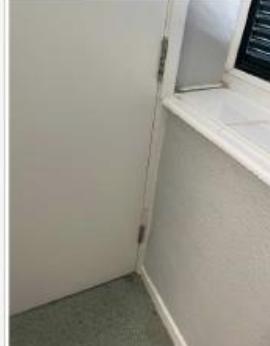
Section 1

Action	11th Communal Fire Door Excessive Gaps
Description of Defect	Upgrade requires
Photos of Defect	
Description of Rectification	Upgrade requires
Action	11th Floor Electric Cupboard
Description of Defect	Hole in Fire Board
Photos of Defect	
Description of Rectification	Hole in Fire Board
Action	8th Communal Fire Door Excessive Gaps

Sureserve Survey

Description of Defect	Upgrade requires
Photos of Defect	
Description of Rectification	Upgrade require
Action	8th Floor Electric Cupboard
Description of Defect	Fire Board Damaged 350x200mm new batt required
Photos of Defect	
Description of Rectification	Fire Board Damaged 350x200mm new batt required
Action	7th Floor Bin Refuse Fire Door Excessive Gaps
Description of Defect	Upgrade requires

Sureserve Survey

Photos of Defect		
Description of Rectification	Upgrade requires	
Action	7th Floor Electric Cupboard	
Description of Defect	Fire Batt Damaged 250x250mm new batt required	
Photos of Defect		
Description of Rectification	Fire Batt Damaged 250x250mm new batt required	
Action	6th Floor Communal Fire Door Excessive Gaps	
Description of Defect	Upgrade requires	



Certificate No. QU8092

This is to certify that:

FIELDWAY SUPPLIES LTD

At the following address:

**Unit 12 Paramount Business Park, Wilson Road,
Liverpool, Merseyside, L36 6AW**

complies with the requirements of:

FIRAS CERTIFICATION SCHEME

Application of passive fire resisting products using

***Penetration Sealing, Fire Door Maintenance &
Fire Rated Timber Doorsets***

To check the current validity of this certificate please contact FIRAS direct or visit our website
www.firas-database.co.uk

*This certification is provided to the client for its own purposes and we cannot opine on whether it will be accepted by
Building Control authorities or any other third parties for any purpose*

Issue No : 3
Issue Date: 27th November 2019
Original Date Issued: 21st August 2019
Valid to : 21st August 2024



Paul Duggan
EWC Certification Manager



BRITISH APPROVALS FOR FIRE EQUIPMENT

This is to certify that

Fieldway Supplies Ltd T/A Fieldway Group

12 Paramount Business Park, Wilson Road, Huyton, Liverpool, L36 6AW

having satisfactorily complied with the requirements of the BAFE adopted scheme

SP203-1

**for the Design, Installation, Commissioning/Handover and
Maintenance of Fire detection and alarm systems.**

**has been added to the list of BAFE Registered Companies and is authorised to use
the BAFE mark**

signed on behalf of BAFE by:

A handwritten signature in black ink, appearing to read 'Doug Bell'.

Chairman

BAFE certificate No:	102104
Date of issue:	19/06/2017
Expiry date:	18/06/2020
SSAIB certificate No:	MERS077



This certificate remains the property of BAFE
British Approvals for Fire Equipment (BAFE), The Fire Service College, London Road, Moreton-in-Marsh,
Gloucestershire GL56 0RH

Certificate of Installation for Fire Alarm

Installation Certificate

Certificate of Installation for the Fire Detection and Fire Alarm System at:

Address: Hollyhedge Court, Hollyhedge rd, M22 4QP

I being the person responsible (as indicated by my signatures below) for the installation of the fire alarm system, particulars of which are set out below, CERTIFY that the said installation for which I have been responsible complies to the best of my knowledge and belief with the specification described below and with the recommendations of Section 4 of BS 5839-1:2017, except for the variations, if any, stated in this certificate.

Names (in block letters): ADAM TYRELL

Position: INSTALLER

Signature:  **Date:** 08/06/2018

For and on behalf of: Fieldway Supplies Ltd / Trading as Fieldway Group Ltd

Address: 12 Paramount Business Park, Wilson Road, Huyton, Liverpool

Postcode: L36 6AW

The extent of liability of the signatory is limited to the system described below.

Extent of installation work covered by this certificate:

COMMUNAL AREAS, STORES, BIN SHUTTE, LIFT MOTOR RM, STAIRWELL, FLAT ENTRANCES, LAUNDRY, BOILER RM, MAINS RM,

Specification against which system was installed: BS 5839-6

J.S. MURPHY

Variations from the specification and/or Section 4 of BS 5839-1 (see BS 5839-1:2017, Clause 7):

MOPS TO HAVE PLASTIC COVERS

Wiring has been tested in accordance with the recommendations of Clause 38 of BS 5839-1:2017. Test results have been recorded and are provided on the appended BS 7671 Electrical Installation Certificate:

Supplied to the person responsible or
Commissioning the system



Supplied by others

This certificate may be required by an authority responsible for enforcement of fire safety legislation, such as the building control authority or housing authority. The recipient of this certificate might rely on the certificate as evidence of compliance with legislation. Liability could arise on the part of any organisation or person that issues a certificate without due care in ensuring its validity.

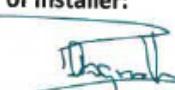
Certificate of Fire Protection Works

No. 587.2020

Argus Fire Protection company Ltd
Hendglade House
46 New Road
Stourbridge
DY8 1PA



Priory Fields, Kettleby, Brigg
Lincolnshire DN20 9HN
Tel: 01652 413110

Property Address: Hollyhedge Court Hollyhedge Court Road Wythenshawe Manchester M22 4GW		Tel: 07785426299 Contact: Kenny Winstanley k.winstanley@argusfire.co.uk
Areas of application:	Fire stop red cable penetrations on all floors.	
Products applied:	Ablative coated batt, liquid ablative coating, H E graphite sealant, intumescent sealant and intumescent coated fireproof sponge.	
Specifics:	Red cables sealed with a combination of H E graphite sealant & intumescent sealant. Intumescent coated fireproof sponge used for larger holes & ablative coated batt fitted into void areas. Liquid ablative coating applied over ablative coated batt and intumescent sealant in some areas. Other pipes and cable breaches sealed with combination of same products as mentioned.	
Installers Details		
Name: Phil Asquith	Address: Priory Fields Kettleby Brigg Lincolnshire DN20 9HN	Tel: 01652 413110 Email: phil@flamehold.co.uk
Company Name: Flame Hold Ltd	Qualification: G1FireE , FPA Fire Risk Assessor & FIRAS Accreditation – Certificate No. FD5102; FIRAS ID – S69545	
I/We hereby certify that the Passive Fire Protection products/systems, supplied for the above project have been supplied & fitted by Flame Hold Ltd. To the best of my knowledge and belief – based on the information supplied – to be the appropriate products/systems for the project to provide Passive Fire Protection to achieve 30-minute fire ratings.		
Signature of Installer: 	Date: 31.07.2020	

