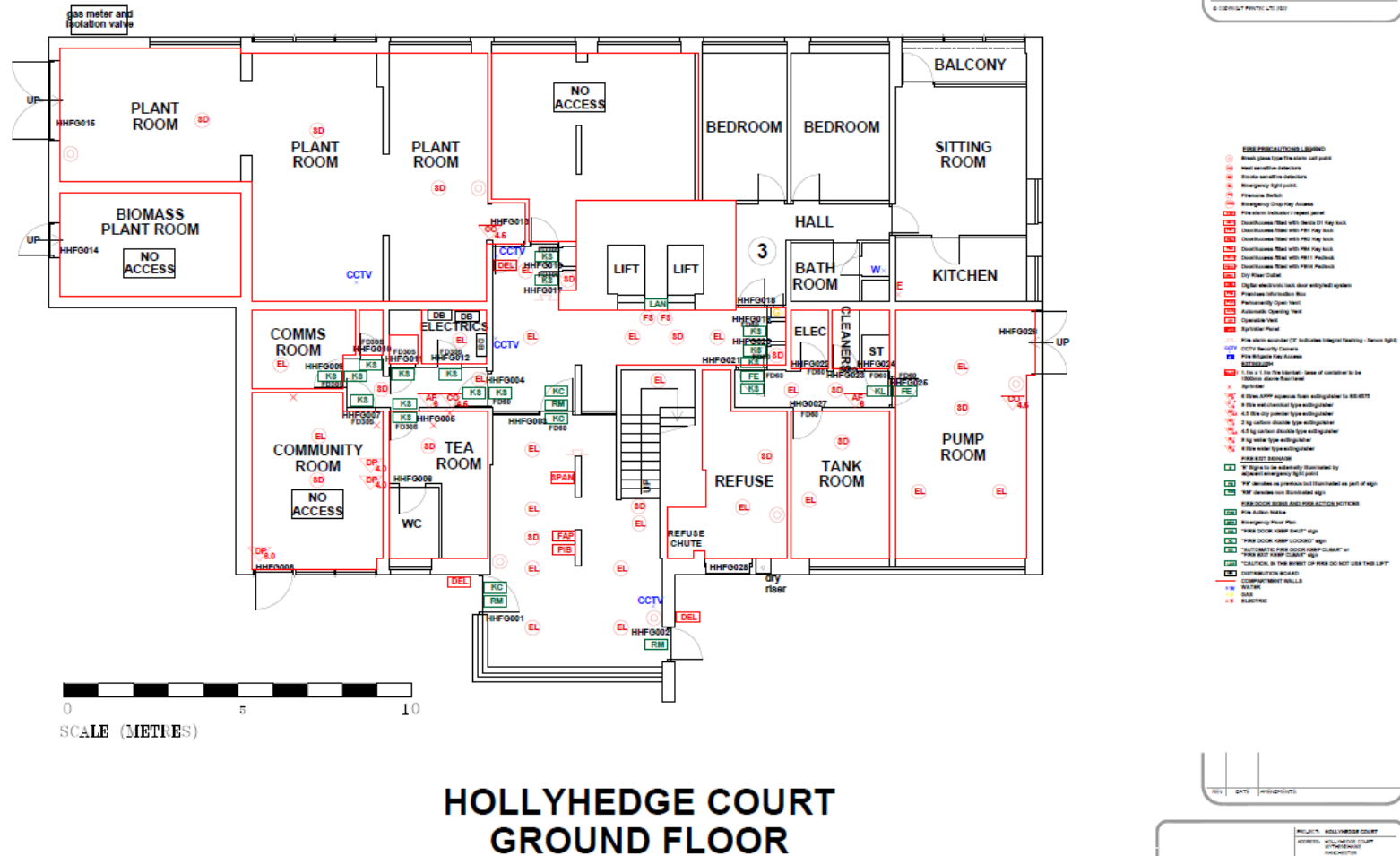


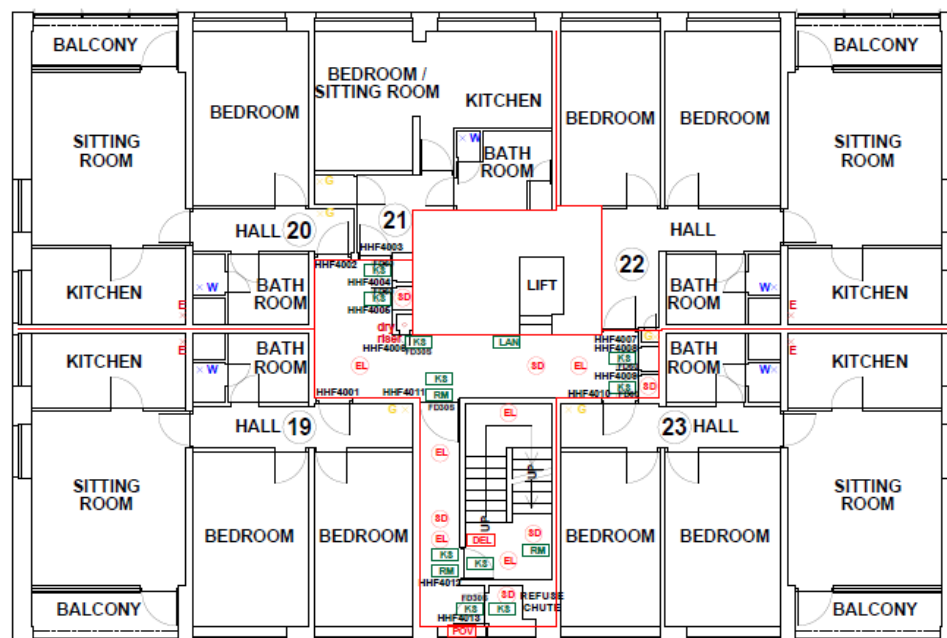
14. Appendix A –Floor plans

Ground Floor layout/ fire strategy plan



TWO DRAWING IS TO BE READ IN CONNECTION WITH ALL RELEVANT SPECIFICATIONS AND DRAWINGS ISSUED. TWO DRAWING IS CORRECT AT THIS OF SURVEY

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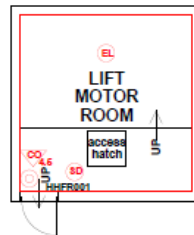


**HOLLYHEDGE COURT
FOURTH FLOOR**

- [illegible]

[illegible]

Roof Strategy Plan



HOLLYHEDGE COURT ROOF SPACE

TWO DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT
NOTIFICATIONS AND DRAWINGS ISSUED. THIS DRAWING IS CORRECT AT THE
DATE OF SURVEY.

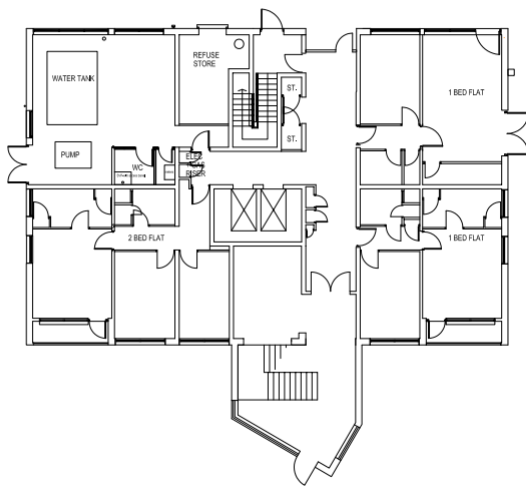
© COPYRIGHT PENTAC LTD 2007

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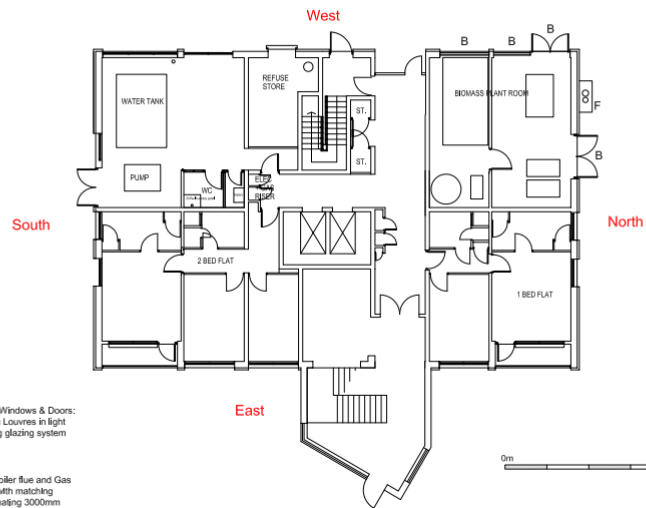
REV	DATE	DESCRIPTION
-----	------	-------------

NAME: www@hollneder.com	OFFICE: HOLLNEDER COURT
EMAIL: www@hollneder.com	ADDRESS: HOLLNEDER COURT 1770 E 10TH AVE DENVER CO 80202
PHONE: 303.733.1212	FAX: 303.733.1212

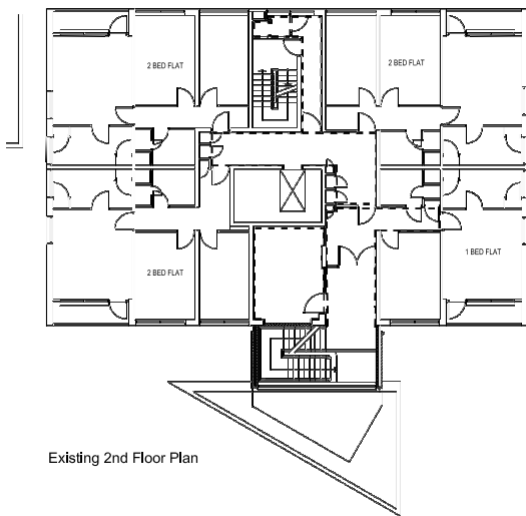
Bio-Mass installation before and after plans



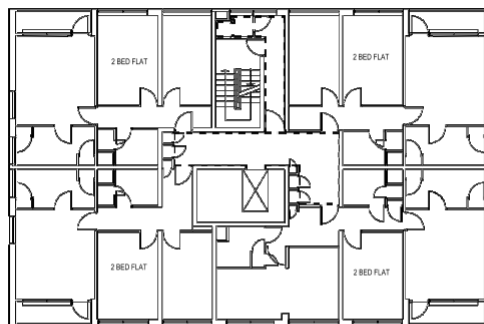
Existing Ground Floor Plan 1:100



Proposed Ground Floor Plan 1:100



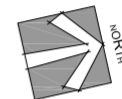
Existing 2nd Floor Plan



Existing 3rd to 11th Floor Plans

Copyright Hub architecture Ltd

Do not scale – use given dimensions only
Work to larger scale information only
To be read in accordance with all other project documentation
If conflict exists, please inform Hub Architecture
Refer to Drawing Issue Register for latest revision issue



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Client

GB Building Solutions Ltd

20

Brownley Court Tower Block
EWI, Replacement Windows and
Biomass Plant Extension

Drug Types

Existing Floor Plans
Proposed Ground Floor Plan

<p>Status - Planning - not for construction</p>
--

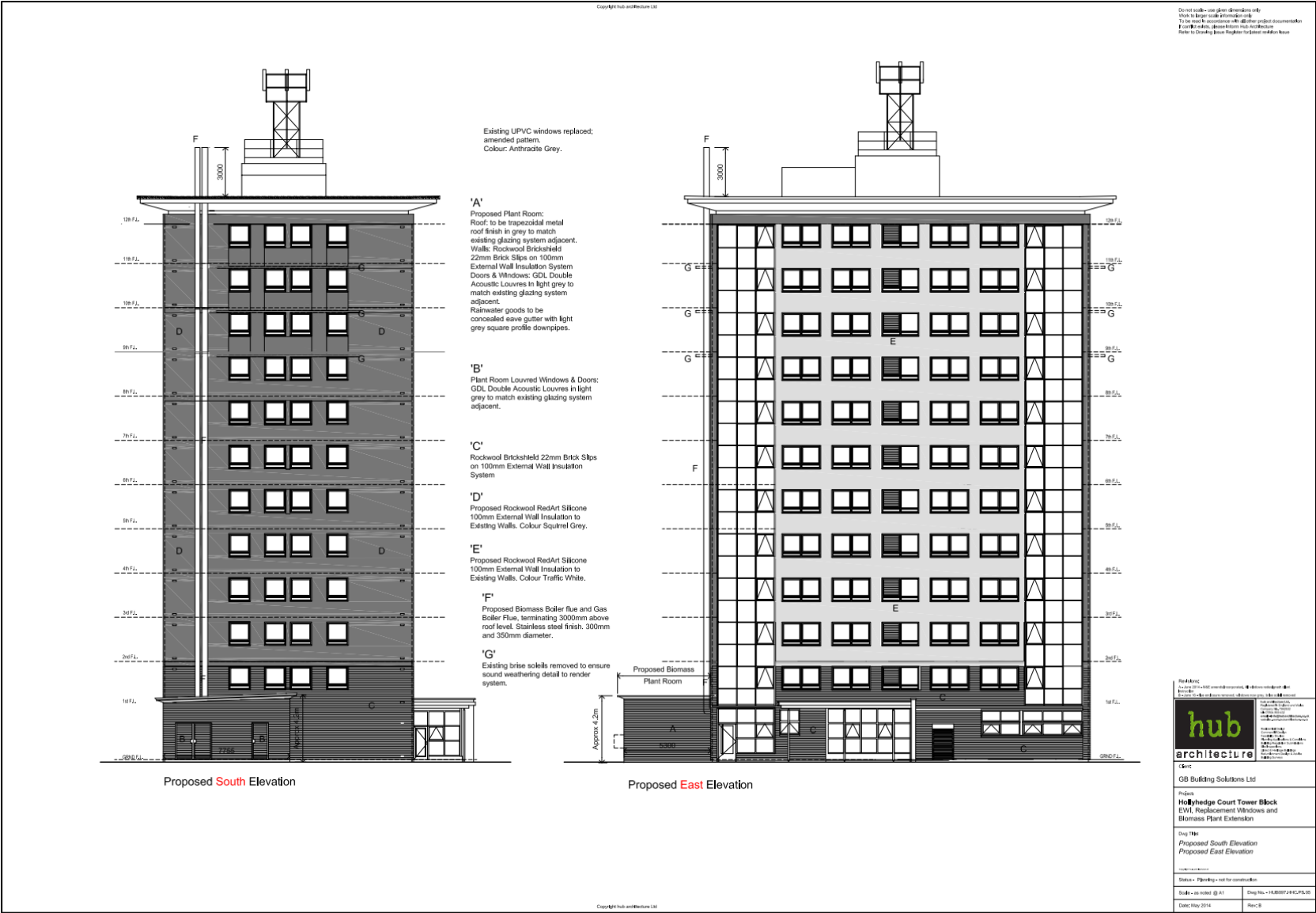
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Date: May 2014

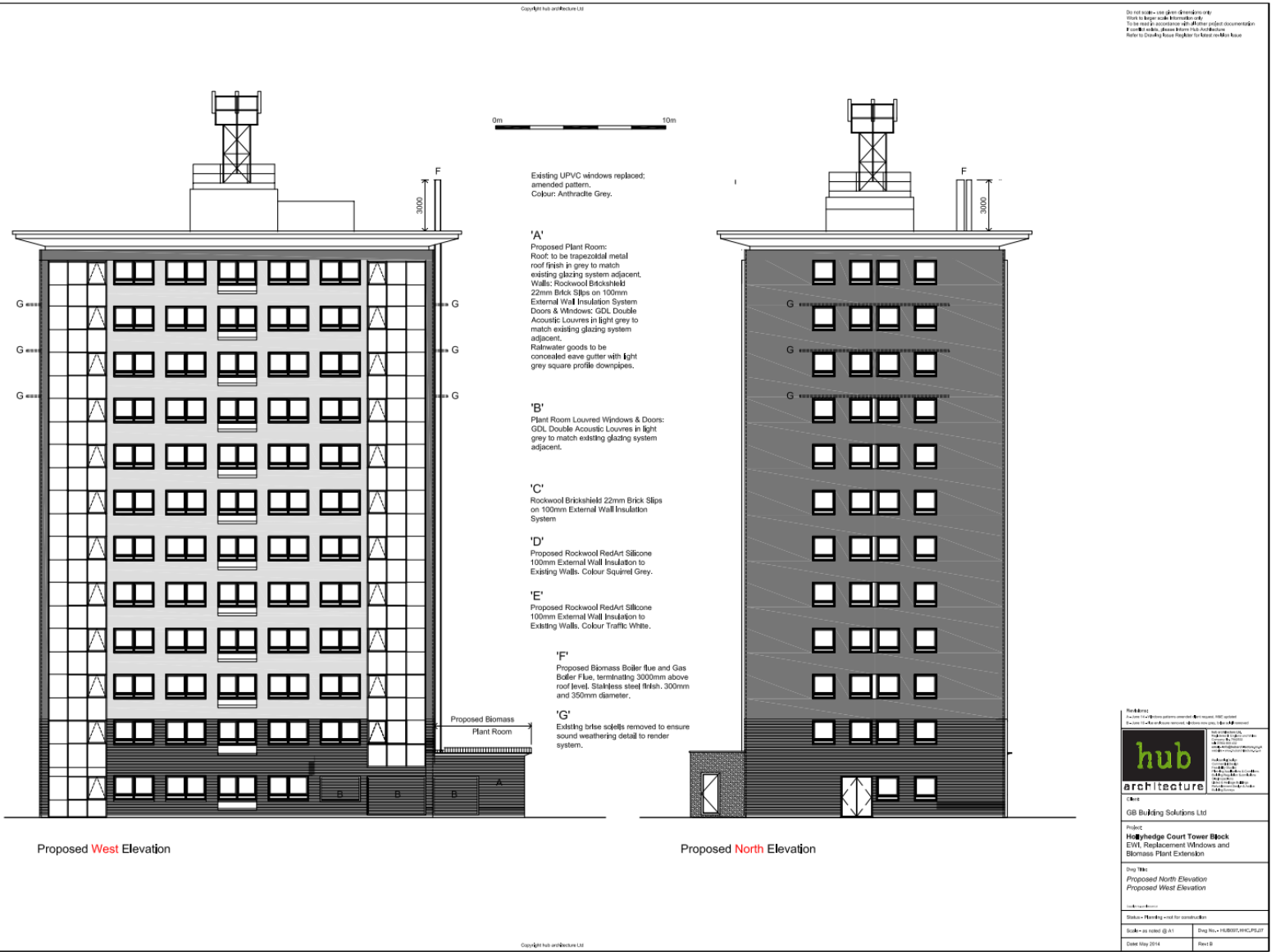
Doc No. - HUB007.BRC.P5.04

	Rev: A
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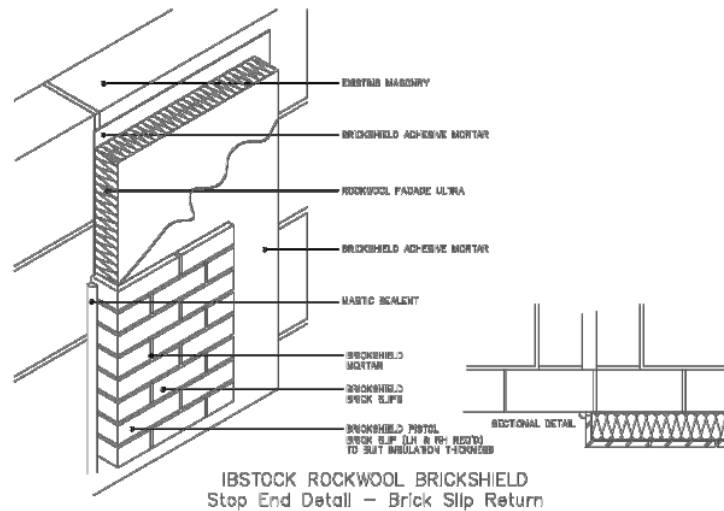
External Wall Insulation South and East Elevations




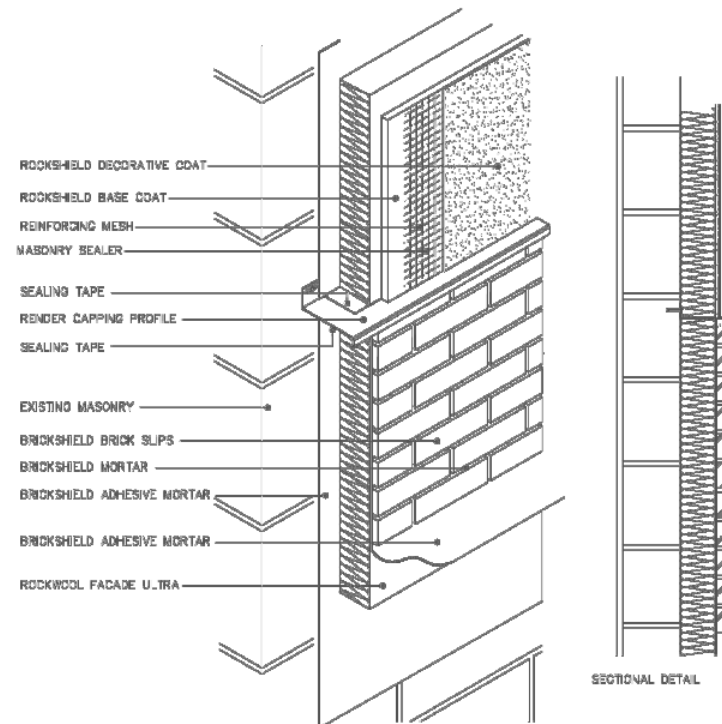
External Wall Insulation North and West Elevations




EWI Render Detailing






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			Date: 23/09/2009
			Revised: — Checked: —
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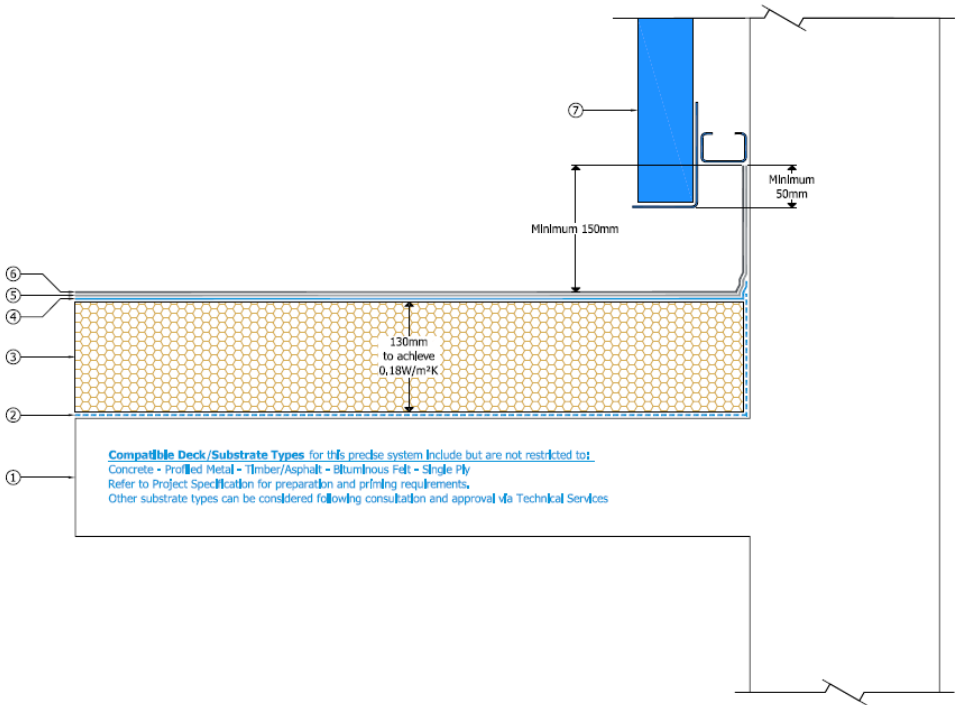
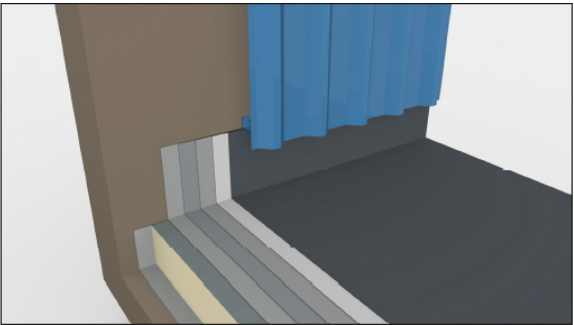




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			Rev: —

Roofing Build up

Key

- ① Existing deck/substrate prepared in strict accordance with Sika Liquid Plastics Project Specification
- ②  **S-Vap 5000E SA** [as Vapour Control Layer (where required) or suitable alternative **by others**] applied in strict accordance with Sika Liquid Plastics Project Specification
- ③  **Decotherm PIR Insulation** [or suitable alternative **by others**] bonded in strict accordance with Sika Liquid Plastics Project Specification
- ④  **S-Vap 5000E SA** [as Carrier Membrane or suitable alternative **by others**] applied in strict accordance with Sika Liquid Plastics Project Specification
- ⑤  **Sika Liquid Applied EMBEDMENT COAT** fully reinforced with **Sika Reemat Premium** glass fibre matting in strict accordance with Sika Liquid Plastics Project Specification
- ⑥  **Sika Liquid Applied TOP COAT** applied in strict accordance with Sika Liquid Plastics Project Specification
- ⑦ **EXISTING CLADDING**: Release existing cladding to allow access to the upstand during waterproofing application and reinstate to provide minimum 50mm weathering lap
NOTE: Exercise caution during exposed periods to prevent water ingress
NEW CLADDING: Installed in accordance with manufacturers instructions to provide a minimum 50mm weathering lap to the exposed edge of the Sika Liquid Applied Membrane

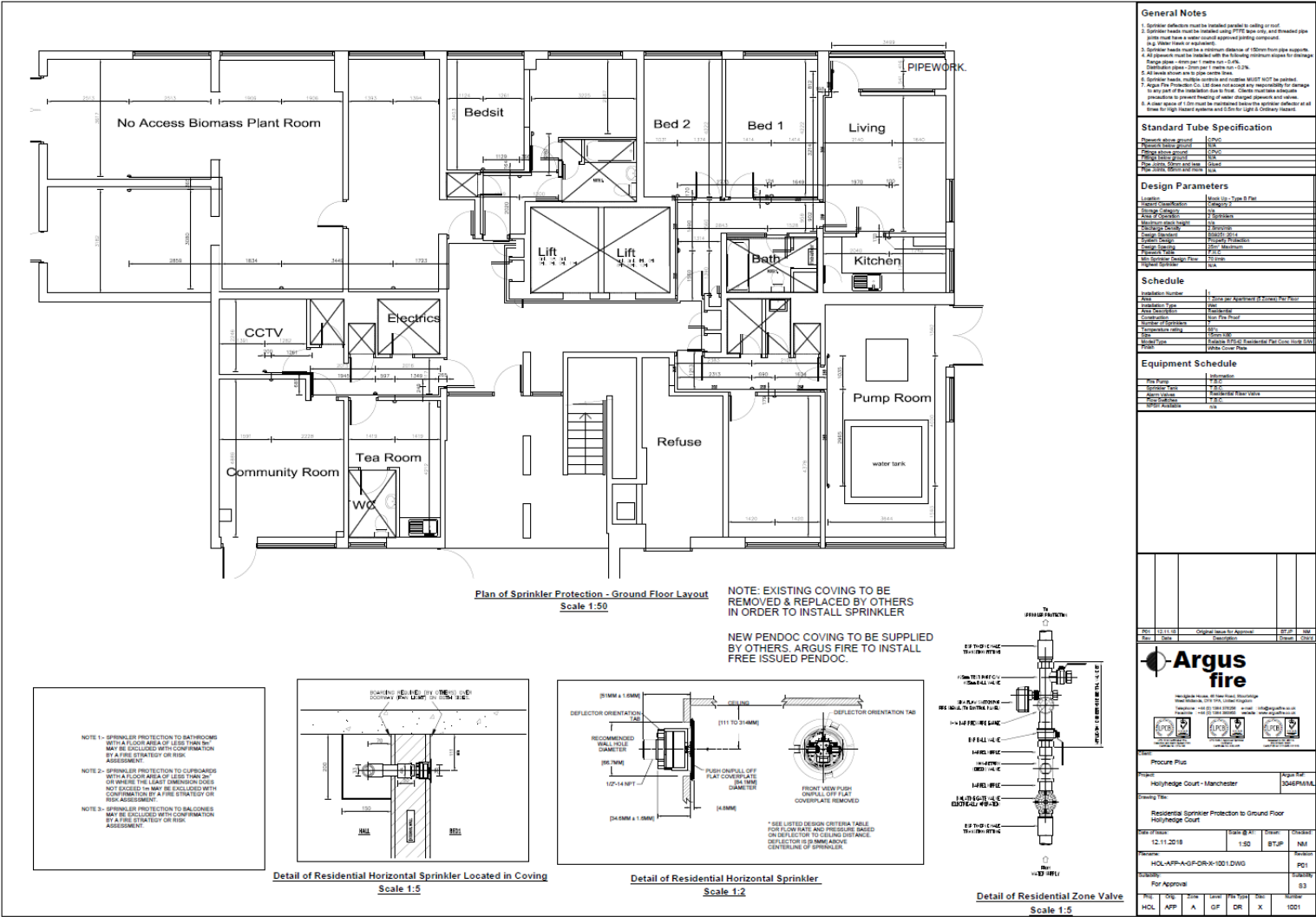


Drawing Status:	CONSTRUCTION	
Project No:		
DWG No:	002-2017-003	Revision:
Project:	E	
Benchill Court		
Benchill Court		
Drawing Title:		
Built Up Warm Roof Application		
Upstand with Existing/New		
vertical cladding		
Scale:	1:5 @ A3	Drawn: GRW
Date:	January 2016	
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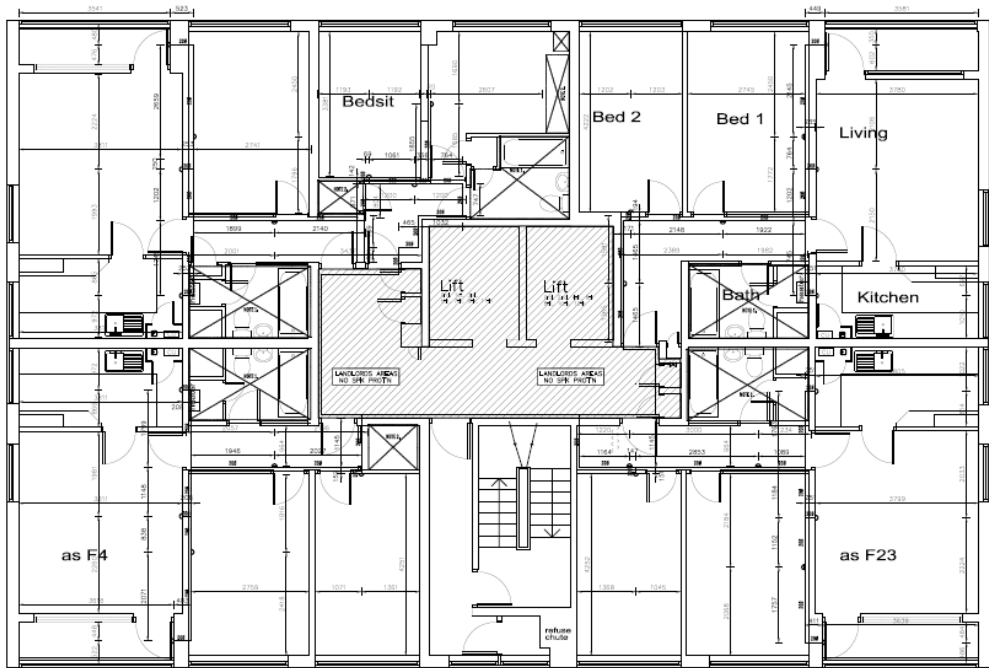
Incoming mains and Isolation points.



Sprinkler installation Ground Floor



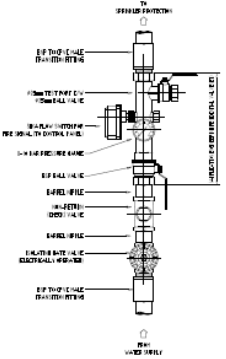
Sprinkler installation typical mid floor.



Plan of Sprinkler Protection - Typical Layout
Scale 1:50

NOTE: EXISTING COVING TO BE REMOVED & REPLACED BY OTHERS IN ORDER TO INSTALL SPRINKLER PIPEWORK.

NEW PENDOC COVING TO BE SUPPLIED BY OTHERS. ARGUS FIRE TO INSTALL FREE ISSUED PENDOC.

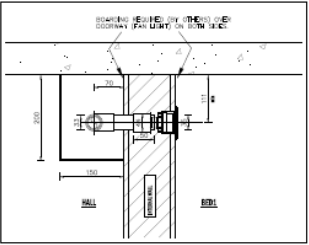


Detail of Residential Zone Valve
Scale 1:5

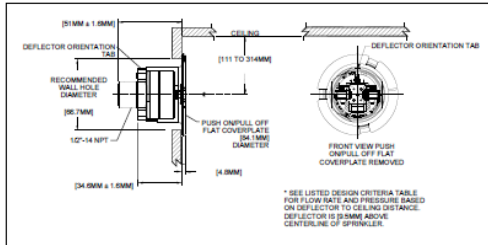
NOTE 1- SPRINKLER PROTECTION TO BATHROOMS WITH A FLOOR AREA OF LESS THAN 2m² MAY BE EXCLUDED WITH CONFIRMATION BY A FIRE STRATEGY OR RISK ASSESSMENT.

NOTE 2- SPRINKLER PROTECTION TO CLOSET/WARDROBES WITH A FLOOR AREA OF LESS THAN 2m² OR WHERE THE LEAST DIMENSION DOES NOT EXCEED 1m MAY BE EXCLUDED WITH CONFIRMATION BY A FIRE STRATEGY OR RISK ASSESSMENT.

NOTE 3- SPRINKLER PROTECTION TO BALCONIES MAY BE EXCLUDED WITH CONFIRMATION BY A FIRE STRATEGY OR RISK ASSESSMENT.



Detail of Residential Horizontal Sprinkler Located in Coving
Scale 1:5

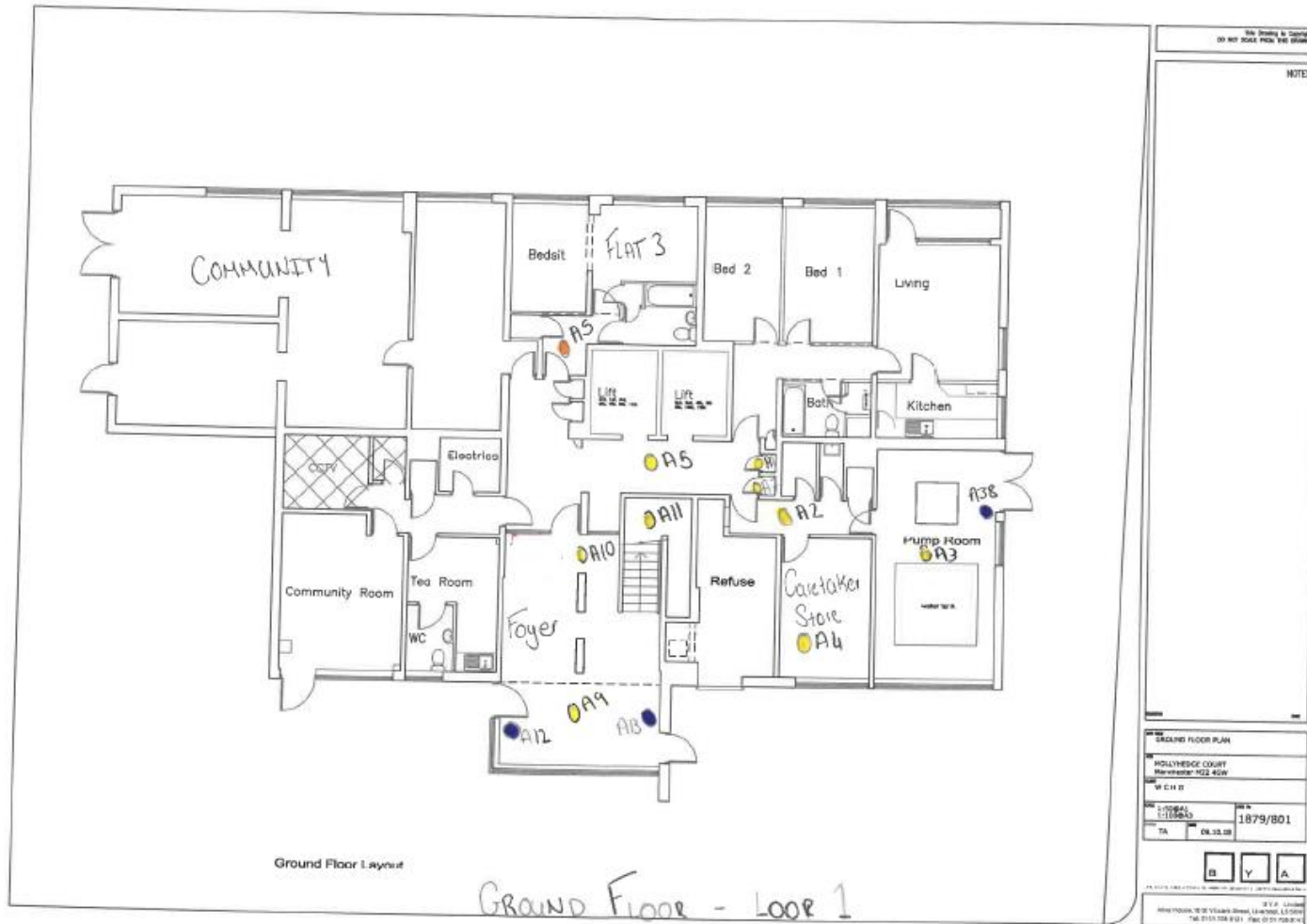


Detail of Residential Horizontal Sprinkler
Scale 1:2

General Notes									
1. Sprinkler deflectors must be installed parallel to ceiling or roof									
2. Sprinkler heads must be installed using PTFE tape only, and threaded pipe joints must have a water resistant approved jointing compound (e.g. Water Guard or equivalent)									
3. Sprinkler heads must be a minimum distance of 150mm from pipe supports									
4. All pipework must be installed with the following minimum slopes for drainage Range pipes - down per 1 metre run - 0.2% Distribution pipes - down per 1 metre run - 0.2% All heads should be to pipe centre line									
5. Sprinkler heads, multiple controls and routes MUST NOT be painted									
6. Argus Fire Protection Co. Ltd does not accept any responsibility for damage to any part of the installation due to fire. Clients must take adequate precautions to prevent heating of water charged pipework and valves									
7. A clear space of 100mm must be maintained below the sprinkler deflector at all times for high hazard systems and 50mm for Light & Ordinary hazard									
Standard Tube Specification									
Pipework above ground		100mm							
Pipework below ground		150mm							
Pipework above ground		100mm							
Pipework below ground		150mm							
Flow joints 50mm and less		Class 1							
Flow joints 60mm and more		Class 2							
Design Parameters									
Location		Manchester - Type B Flat							
Building Information		CHS 2.2							
Storage Category		CHS 2.2							
Area of Protection		100m ²							
Maximum water supply		100m ³							
Maximum pressure		100m ³							
Design Standard		BS 5739-1:2014							
Protection Type		Residential Protection							
Design Standard		BS 5739-1:2014							
Design Pressure		100m ³							
Design Temperature		100m ³							
Design Flow		100m ³							
Design Velocity		100m ³							
Design Pressure		100m ³							
Design Temperature		100m ³							
Design Flow		100m ³							
Design Velocity		100m ³							
Schedule									
Installation Number		1							
Area		100m ² per Apartment (if known) Per Floor							
Area per Apartment		100m ²							
Area per Floor		100m ²							
Number of Sprinklers		100							
Number of Valves		1							
Number of Pipes		100							
Number of Fittings		100							
Number of Joints		100							
Number of Elbows		100							
Number of Tees		100							
Number of Crosses		100							
Number of Couplings		100							
Number of Unions		100							
Number of Flanges		100							
Number of Gaskets		100							
Number of Bolts		100							
Number of Nuts		100							
Number of Washers		100							
Number of Spacers		100							
Number of Hangers		100							
Number of Supports		100							
Number of Anchors		100							
Number of Brackets		100							
Number of Clips		100							
Number of Screws		100							
Number of Nails		100							
Number of Glues		100							
Number of Sealants		100							
Number of Paints		100							
Number of Finishes		100							
Number of Accessories		100							
Equipment Schedule									
Equipment		Information							
Fire Alarm		100m ²							
Fire Alarm Control Panel		100m ²							
Fire Alarm Sounder		100m ²							
Fire Alarm Bell		100m ²							
Fire Alarm Horn		100m ²							
Fire Alarm Strobe		100m ²							
Fire Alarm Speaker		100m ²							
Fire Alarm Detector		100m ²							
Fire Alarm Manual Call Point		100m ²							
Fire Alarm Reset Button		100m ²							
Fire Alarm Test Button		100m ²							
Fire Alarm Maintenance Tag		100m ²							
Fire Alarm Certificate		100m ²							
Fire Alarm Inspection Report		100m ²							
Fire Alarm Training Record		100m ²							
Fire Alarm Maintenance Log		100m ²							
Fire Alarm Test Record		100m ²							
Fire Alarm Calibration Record		100m ²							
Fire Alarm Repair Record		100m ²							
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Fire Alarm installation – Ground Floor

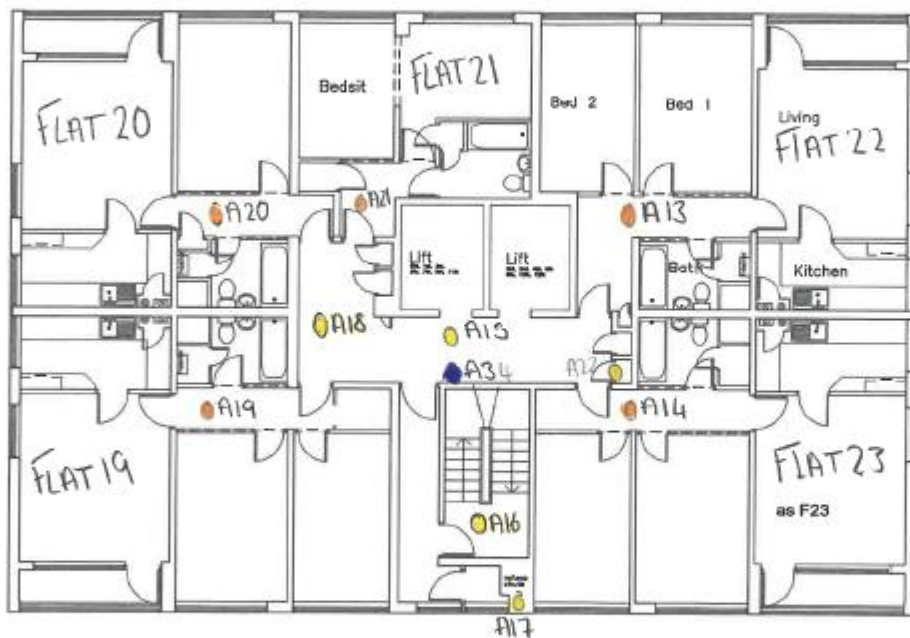
Hollyhedge Court



Key

- SMOKE DETECTOR.
- HEAT DETECTOR.
- MANUAL CALL POINT
- INTERFACE

Fire alarm installation Typical intermediate floor.



FORTH Floor - Loop 2

Upper Floor Layout 1st - 11th

[illegible]

15. Appendix B – Surveys and Reports

Building Regulation Certificate for EWI work

Building Regulations Certificate of Completion



**MANCHESTER
CITY COUNCIL**

Building Control

PO Box 532, Town Hall
Manchester M60 2LA

**The Building Act 1984 (as amended)
The Building Regulations 2010 (as amended)**

Reference Number: DALFP/17/00104

Applicant:

Mr Ian Stansfield
Wates Construction Ltd
4th Floor The Royals
353 Altrincham Road
Manchester

Description of Work:

EWI installation to 3 No 12 storey tower blocks

Location of Building:

Hollyhedge Court Only
Manchester
M22 4GW

Deposit of Particulars:

A Full plans application was deposited on 2nd February 2017 under the Building Regulations Section 1(3) of the Building Act 1984.

Work Completed on: 2nd November 2017

Compliance with the Building Regulations as stated in Regulation 17:

The above mentioned work has been inspected by the Building Control Section of Manchester City Council and as far as can be ascertained the work has been carried out so that the relevant provisions of the Building Regulations have been complied with.

Limitations of the Certificate:

This document does not convey approval under any other legislation other than the Building Regulations and associated legislation. A 'Certificate of Completion' is evidence (but not conclusive evidence) that the requirements specified in the certificate have been complied with. A 'Certificate of Completion' is not an approval of the quality of the work carried out.

Authority:

This Completion Certificate is authorised by **Julie Roscoe**, Head of Planning, Building Control & Licensing.

Signature:

Date: 2nd November 2017



www.manchester.gov.uk



Sureserve Survey

Section 1



Client	Sureserve Fire Electrical
Site Address	Hollyhedge Court
Date/Time	18/05/22

FRA Actions



Section 1

Action	11th Communal Fire Door Excessive Gaps
Description of Defect	Upgrade requires
Photos of Defect	
Description of Rectification	Upgrade requires
Action	11th Floor Electric Cupboard
Description of Defect	Hole in Fire Board
Photos of Defect	
Description of Rectification	Hole in Fire Board
Action	8th Communal Fire Door Excessive Gaps

Sureserve Survey

Description of Defect	Upgrade requires	
Photos of Defect		
Description of Rectification	Upgrade require	
Action	8th Floor Electric Cupboard	
Description of Defect	Fire Board Damaged 350x200mm new batt required	
Photos of Defect		
Description of Rectification	Fire Board Damaged 350x200mm new batt required	
Action	7th Floor Bin Refuse Fire Door Excessive Gaps	
Description of Defect	Upgrade requires	

Sureserve Survey

Photos of Defect		
Description of Rectification	Upgrade requires	
Action	7th Floor Electric Cupboard	
Description of Defect	Fire Batt Damaged 250x250mm new batt required	
Photos of Defect		
Description of Rectification	Fire Batt Damaged 250x250mm new batt required	
Action	6th Floor Communal Fire Door Excessive Gaps	
Description of Defect	Upgrade requires	



Certificate No. QU8092

This is to certify that:

FIELDWAY SUPPLIES LTD

At the following address:

**Unit 12 Paramount Business Park, Wilson Road,
Liverpool, Merseyside, L36 6AW**

complies with the requirements of:

FIRAS CERTIFICATION SCHEME

Application of passive fire resisting products using

***Penetration Sealing, Fire Door Maintenance &
Fire Rated Timber Doorsets***

To check the current validity of this certificate please contact FIRAS direct or visit our website
www.firas-database.co.uk

*This certification is provided to the client for its own purposes and we cannot opine on whether it will be accepted by
Building Control authorities or any other third parties for any purpose*

**Issue No : 3
Issue Date: 27th November 2019
Original Date Issued: 21st August 2019
Valid to : 21st August 2024**



A handwritten signature in black ink, appearing to read 'Paul Duggan'.

Paul Duggan
EWC Certification Manager



BRITISH APPROVALS FOR FIRE EQUIPMENT

This is to certify that

Fieldway Supplies Ltd T/A Fieldway Group

12 Paramount Business Park, Wilson Road, Huyton, Liverpool, L36 6AW

having satisfactorily complied with the requirements of the BAFE adopted scheme

SP203-1

**for the Design, Installation, Commissioning/Handover and
Maintenance of Fire detection and alarm systems.**

**has been added to the list of BAFE Registered Companies and is authorised to use
the BAFE mark**

signed on behalf of BAFE by:

Chairman

BAFE certificate No:	102104
Date of issue:	19/06/2017
Expiry date:	18/06/2020
SSAIB certificate No:	MERS077



This certificate remains the property of BAFE
British Approvals for Fire Equipment (BAFE), The Fire Service College, London Road, Moreton-in-Marsh,
Gloucestershire GL56 0RH

Certificate of Installation for Fire Alarm

Installation Certificate

Certificate of Installation for the Fire Detection and Fire Alarm System at:

Address: Hollyhedge Court, Hollyhedge rd, M22 4QP

I being the person responsible (as indicated by my signatures below) for the installation of the fire alarm system, particulars of which are set out below, CERTIFY that the said installation for which I have been responsible complies to the best of my knowledge and belief with the specification described below and with the recommendations of Section 4 of BS 5839-1:2017, except for the variations, if any, stated in this certificate.

Names (In block letters): ADAM TYRELL

Position: INSTALLER

Signature:  Date: 08/06/2018

For and on behalf of: Fieldway Supplies Ltd / Trading as Fieldway Group Ltd

Address: 12 Paramount Business Park, Wilson Road, Huyton, Liverpool

Postcode: L36 6AW

The extent of liability of the signatory is limited to the system described below.

Extent of installation work covered by this certificate:

COMMUNAL AREAS, STORES, BIN SHUTE, LIFT MOTOR RM, STAIRWELL, FLAT ENTRANCES, LAUNDRY, BOILER RM, MAINS RM,

Specification against which system was installed: BS 5839-6

...S. MURPHY

Variations from the specification and/or Section 4 of BS 5839-1 (see BS 5839-1:2017, Clause 7):

MOPS TO HAVE PLASTIC COVERS

Wiring has been tested in accordance with the recommendations of Clause 38 of BS 5839-1:2017. Test results have been recorded and are provided on the appended BS 7671 Electrical Installation Certificate:

Supplied to the person responsible or
Commissioning the system



Supplied by others

This certificate may be required by an authority responsible for enforcement of fire safety legislation, such as the building control authority or housing authority. The recipient of this certificate might rely on the certificate as evidence of compliance with legislation. Liability could arise on the part of any organisation or person that issues a certificate without due care in ensuring its validity.

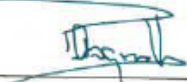
Certificate of Fire Protection Works



No. 587.2020

Argus Fire Protection company Ltd
Hendglade House
46 New Road
Stourbridge
DY8 1PA

Priory Fields, Kettleby, Brigg
Lincolnshire DN20 9HN
Tel: 01652 413110

Property Address: Hollyhedge Court Hollyhedge Court Road Wythenshawe Manchester M22 4GW		Tel: 07785426299
		Contact: Kenny Winstanley k.winstanley@argusfire.co.uk
Areas of application:	Fire stop red cable penetrations on all floors.	
Products applied:	Ablative coated batt, liquid ablative coating, H E graphite sealant, intumescent sealant and intumescent coated fireproof sponge.	
Specifics:	Red cables sealed with a combination of H E graphite sealant & intumescent sealant. Intumescent coated fireproof sponge used for larger holes & ablative coated batt fitted into void areas. Liquid ablative coating applied over ablative coated batt and intumescent sealant in some areas. Other pipes and cable breaches sealed with combination of same products as mentioned.	
Installers Details		
Name: Phil Asquith	Address: Priory Fields Kettleby Brigg Lincolnshire DN20 9HN	Tel: 01652 413110 Email: phil@flamehold.co.uk
Company Name: Flame Hold Ltd		Qualification: GFireE , FPA Fire Risk Assessor & FIRAS Accreditation – Certificate No. FD5102; FIRAS ID – S69545
I/We hereby certify that the Passive Fire Protection products/systems, supplied for the above project have been supplied & fitted by Flame Hold Ltd. To the best of my knowledge and belief – based on the information supplied – to be the appropriate products/systems for the project to provide Passive Fire Protection to achieve 30-minute fire ratings.		
Signature of Installer: 		Date: 31.07.2020

