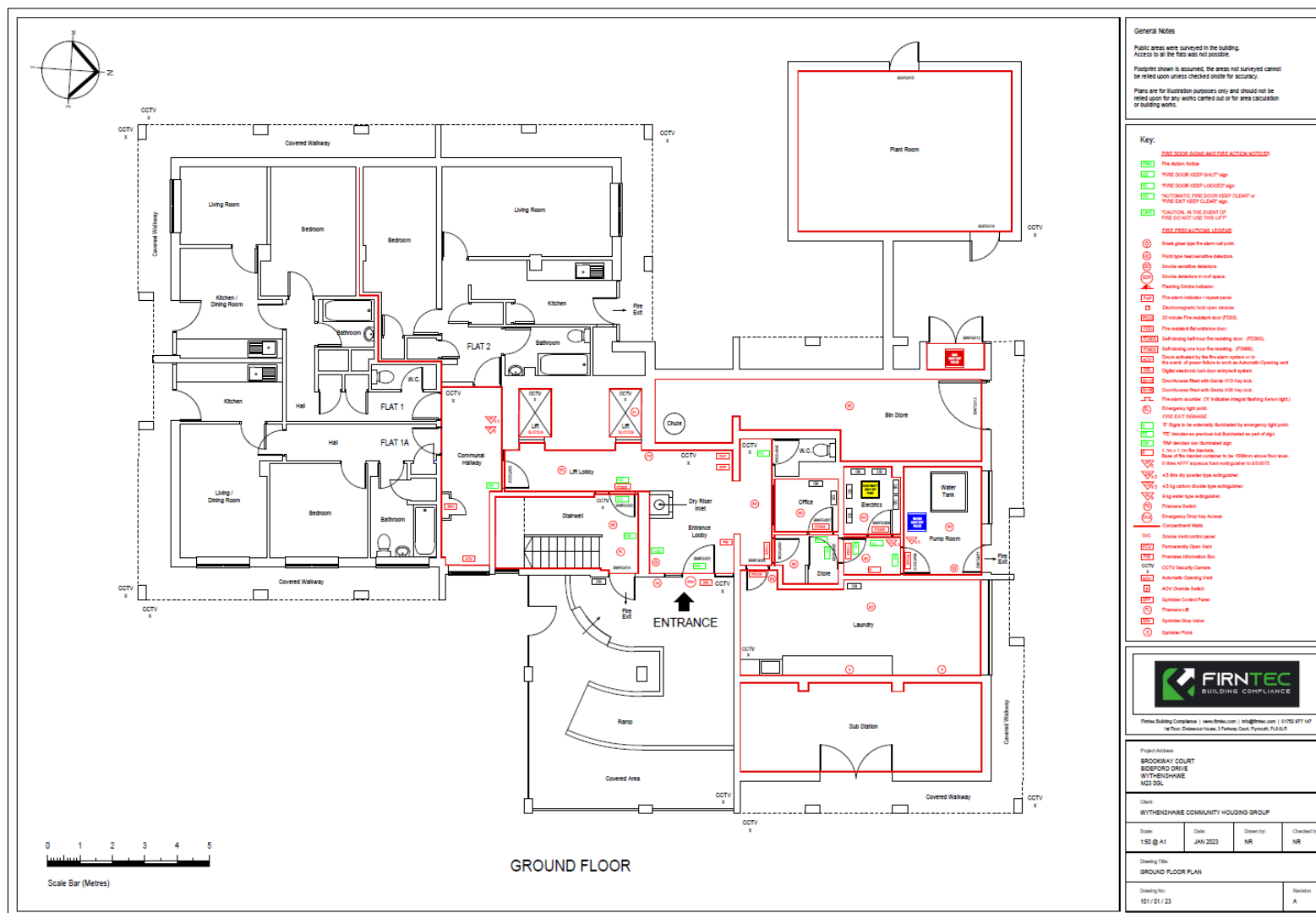
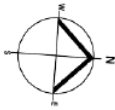


17. Appendix A –Floor plans

Ground Floor layout/ fire strategy plan





Scale Bar (Metres)

FOURTH FLOOR

General Notes

Public areas were surveyed in the building.
Access to all the flats was not possible.

Footprint shown is assumed, the areas not surveyed cannot be relied upon unless checked on site for accuracy.

Plans are for illustration purposes only and should not be relied upon for any works carried out or for area calculation or building works.

Key:

FIRE DOOR SIGNS AND FIRE ACTION NOTICES

- (1) Fire Action Notice
- (2) FIRE DOOR KEEP SHUT sign
- (3) FIRE DOOR KEEP LOCKED sign
- (4) FIRE DOOR KEEP CLEAR sign
- (5) FIRE DOOR KEEP CLEAR sign
- (6) CAUTION IN THE EVENT OF FIRE DO NOT USE THIS LIFT

FIRE PRECAUTIONS LEGEND

- (1) Smoke glass type fire alarm call point
- (2) Push type heat sensitive detector
- (3) Smoke sensitive detector
- (4) Smoke detector to roof space
- (5) Flashing smoke indicator
- (6) Fire alarm indicator / repeat panel
- (7) Electromagnetic hold open device
- (8) 20 minute fire resistant door (FD20)
- (9) Fire resistant fire entrance door
- (10) Self-closing full height fire resisting door (FD30)
- (11) Self-closing under floor fire resisting door (FD30)
- (12) Door actuated by the fire alarm system or in the event of power failure to work as Automatic Opening vent
- (13) Digital electronic lock door entry system
- (14) DoorAccess Read with Genetix 103 Key lock
- (15) DoorAccess Read with Genetix 103 Key lock
- (16) Fire alarm number (FD indicates Integrated/Warning/Alarm/Sign)
- (17) Emergency light point
- (18) FIRE EXIT SIGNAGE
- (19) 10' signs to be externally illuminated by emergency light point
- (20) 10' devices as previously listed illuminated as part of sign
- (21) 10' devices not illuminated sign
- (22) 1.5m x 1.5m fire blanket
- (23) Base of fire blanket container to be 1500mm above floor level
- (24) 6 line APTT sequence from extinguisher to 30.055
- (25) 4.5 litre dry powder type extinguisher
- (26) 4.5 kg carbon dioxide type extinguisher
- (27) 8 kg water type extinguisher
- (28) Fireman's Switch
- (29) Emergency Stop Key Access
- (30) Compartment Wall
- (31) Smoke Vent control panel
- (32) Permanently Open Vent
- (33) Fireman's Information Box
- (34) CCTV Security Camera
- (35) Automatic Opening Vents
- (36) ACV Overide Switch
- (37) Sprinkler Control Panel
- (38) Firefighter's Lift
- (39) Sprinkler Stop Valve
- (40) Sprinkler Pulse



Firnitec Building Compliance | www.firnitec.com | info@firnitec.com | 01753 877 147
1st Floor, Endeavour House, 3 Parkway Court, Plymouth, PL6 8LR

Project Address

BROOKWAY COURT
BROOKFORD DRIVE
WYTHENSHAW
M20 0GL

Client:

WYTHENSHAW COMMUNITY HOUSING GROUP

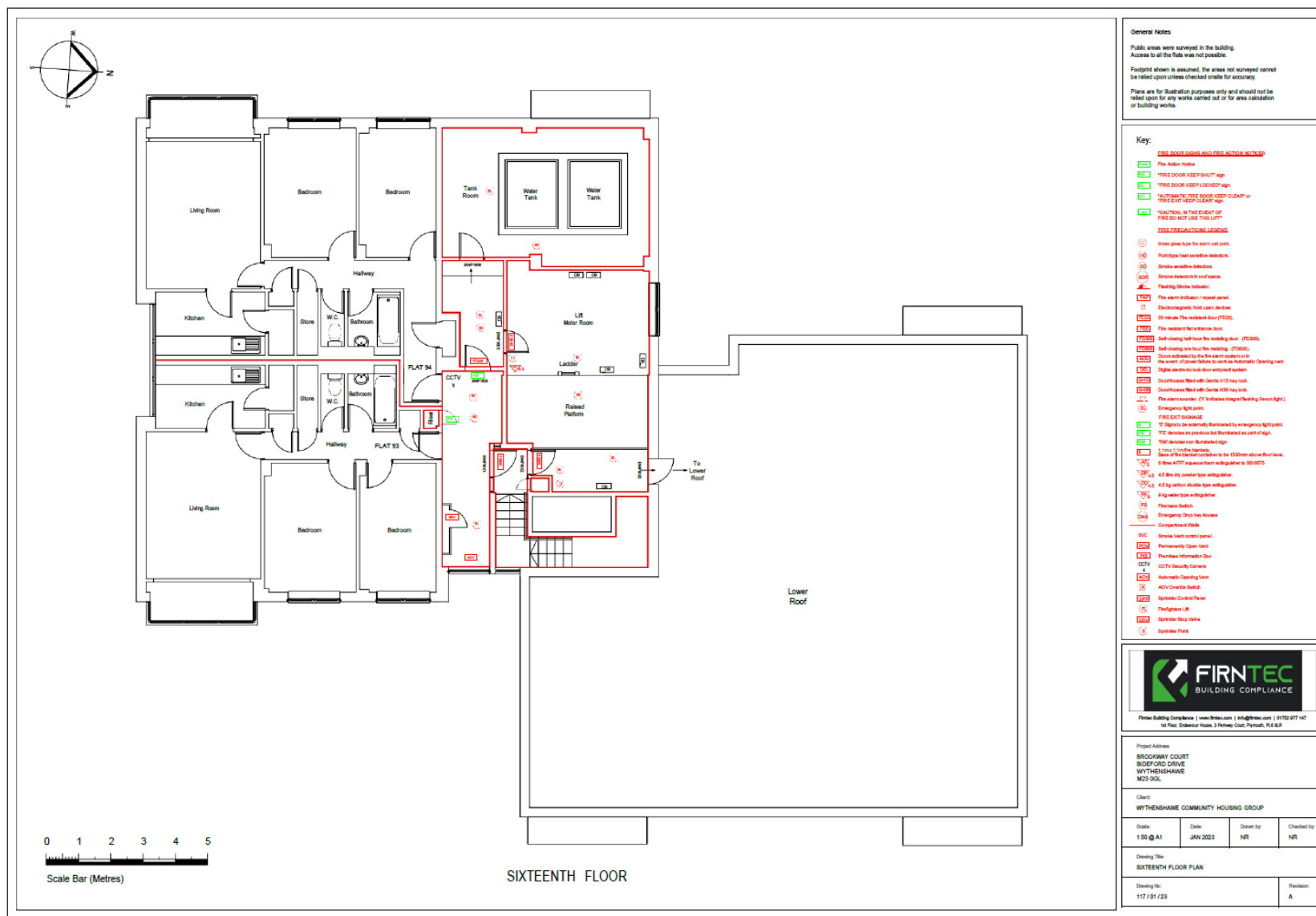
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1:50 @ A1	JAN 2023	NR	NR

Drawing Title:

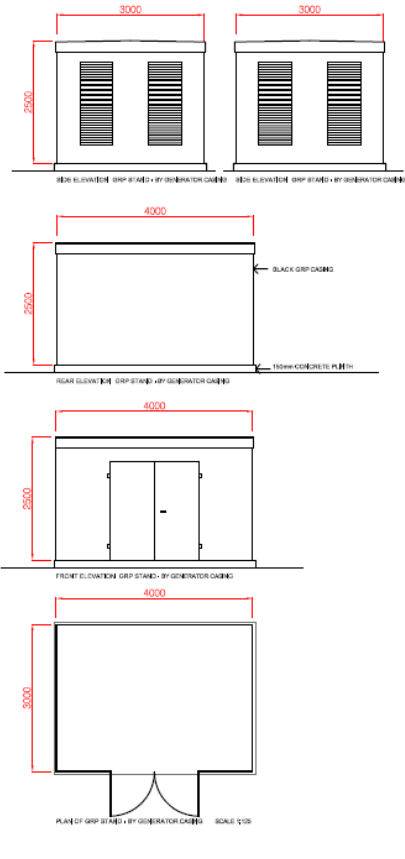
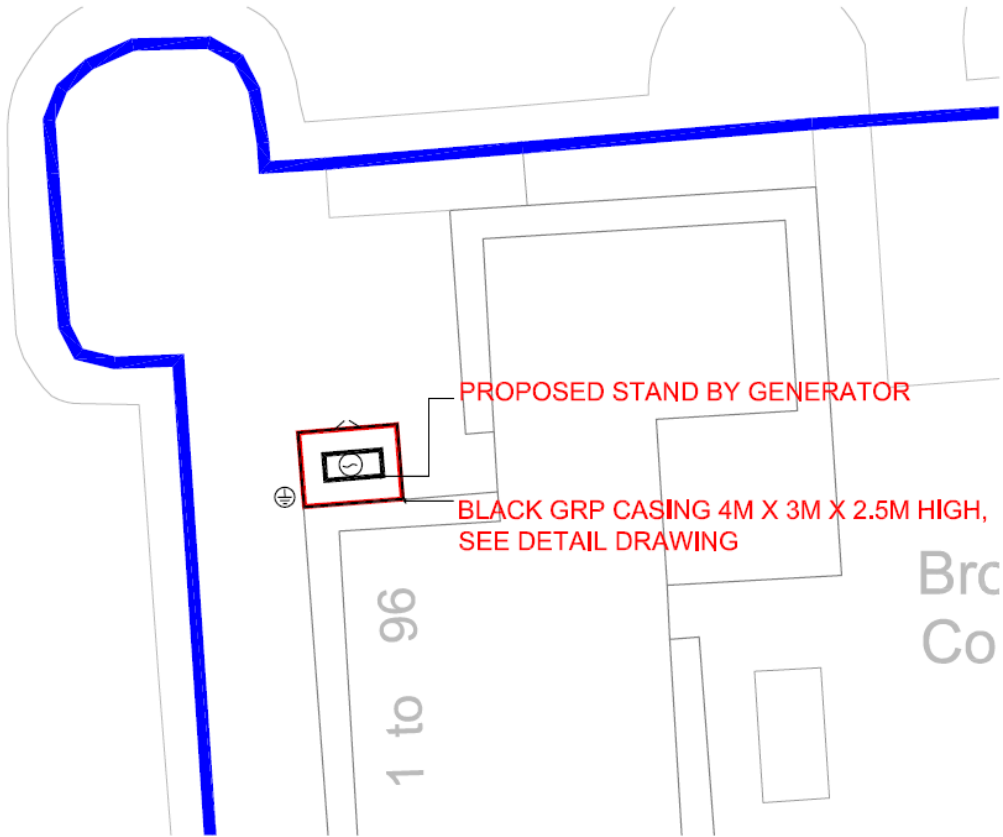
FOURTH FLOOR PLAN

Drawing No:	Revision:
105 / 01 / 23	A

Roof Strategy Plan



Generator housing for lifts



Cartwright & Gross Ltd
Chartered Architects
The Golden Lion
Middle Hillgate
Stockport
SK1 3EH
0161 480 1119
www.cartwrightandgross.co.uk

Revision	Date	Revision note
A	14.09.2017	First Issue
B	06.12.2017	Information re GRP enclosure added

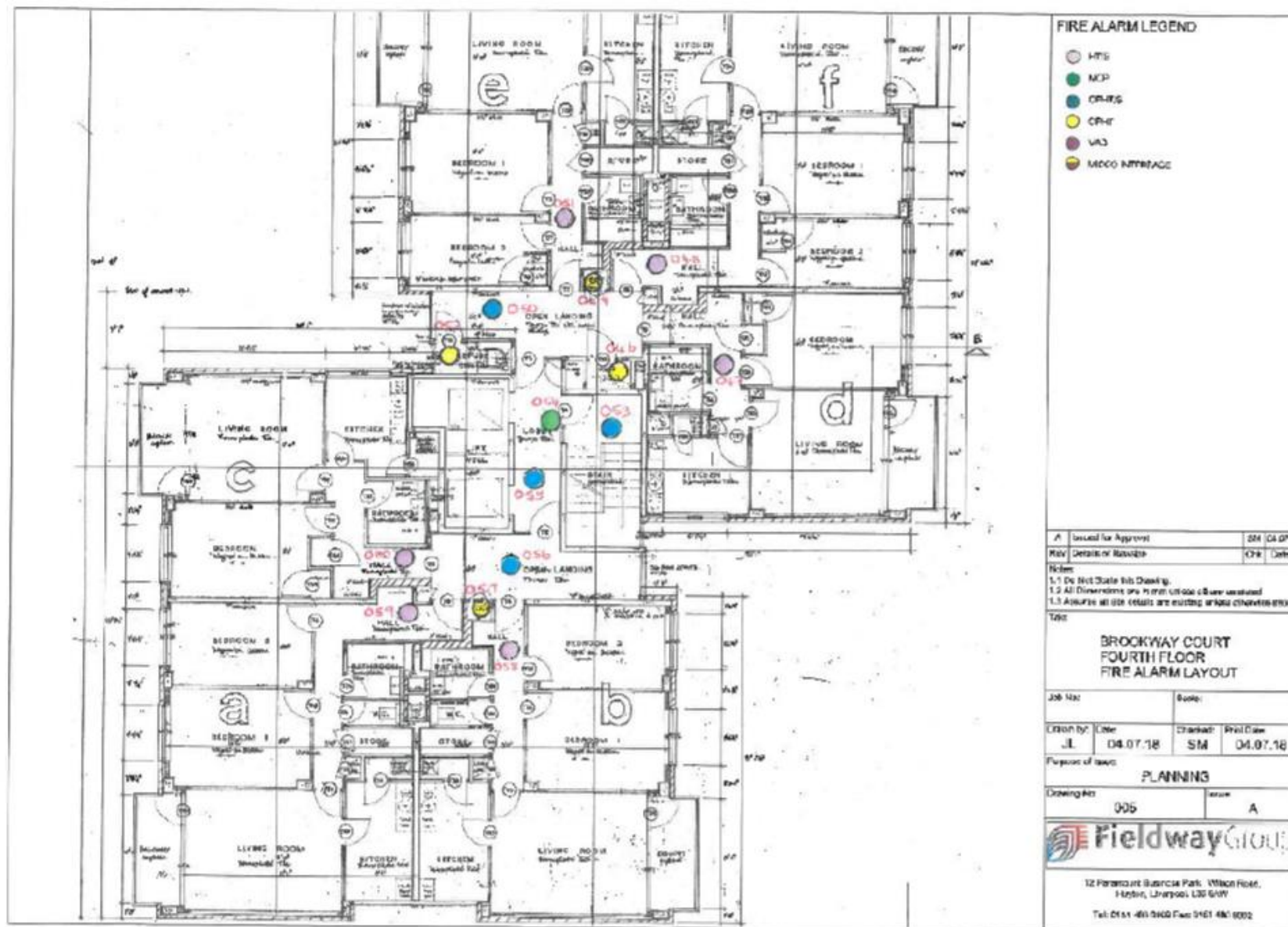
Notes

Project :
WCHG Brookwayl Court
Title :
site plan
Drawing number :
790.2 100
Issue :
B
Client :
WCHG

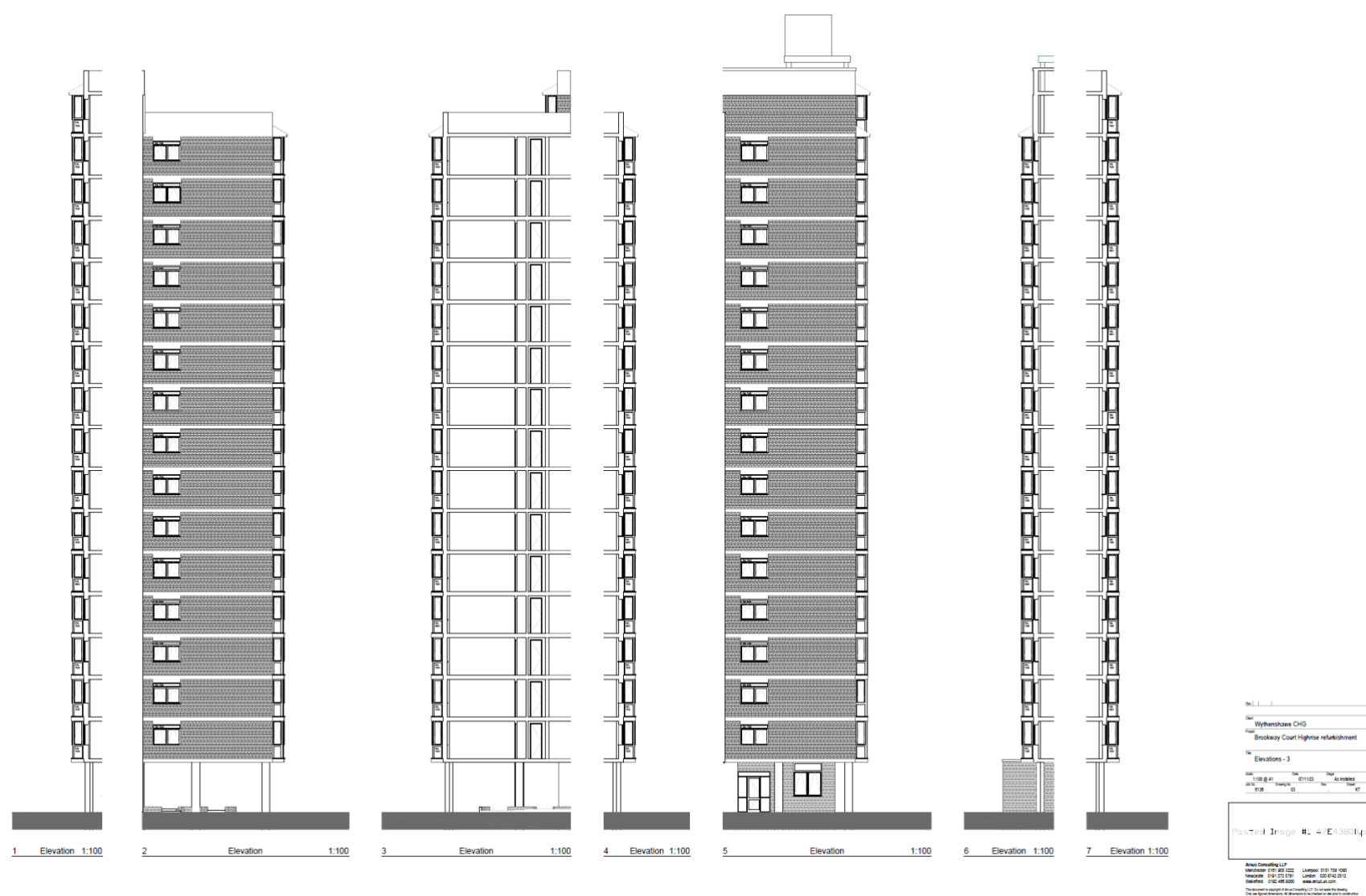
Scale :
1:250 @ A4
Date :
14.09.2017
CAD Ref :
PL01
Drawn by :
SRM



Fire Alarm layout typical intermediate floor



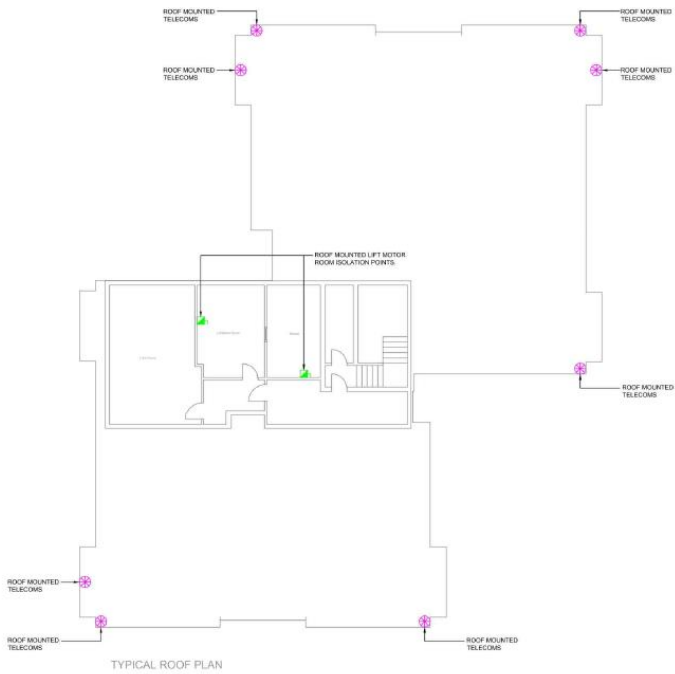
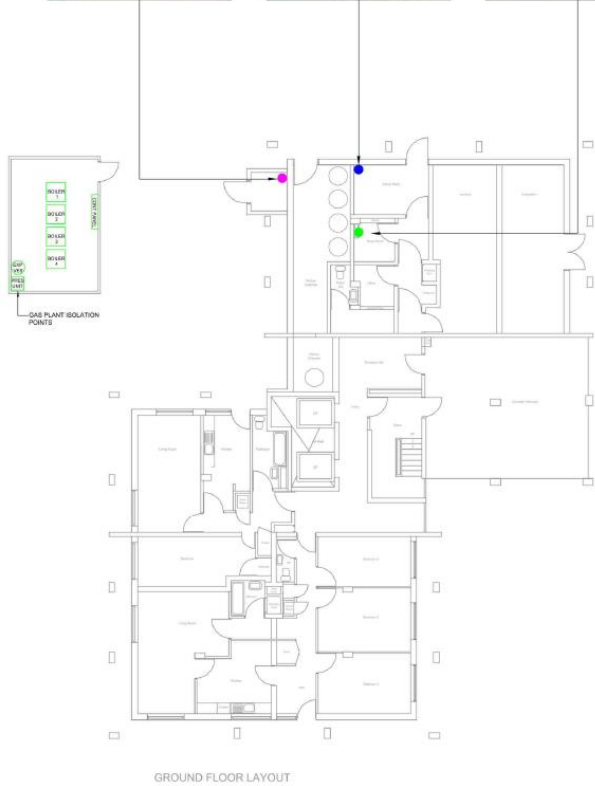
Elevations drawings – As installed windows and spandrel panels



Incoming mains and Isolation points.



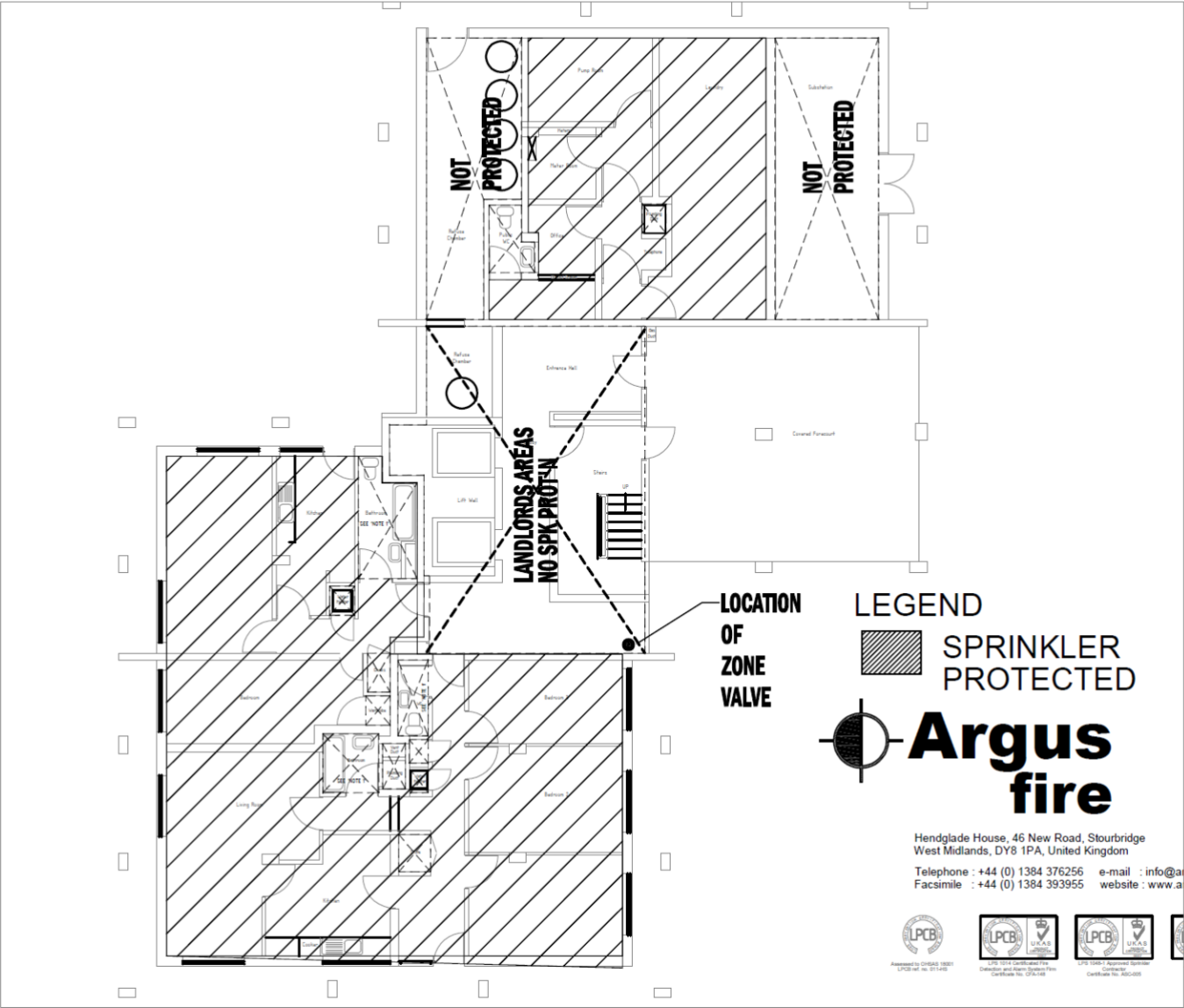
BROOKWAY COURT



11 INFORMATION ISSUE.		P.T. Aug 2021	
Rev	Description	Revised By	Date
BRIEF			
INFORMATION			
ecs CONSULTANTS Building Services Consulting Engineers 145 Sturges Road Chesham, Bucks HP8 2DP Tel: 01895 251124 Fax: 01895 251125 Web Site: www.bscs.co.uk Email: info@bcs.co.uk			
JOB NO.	24/051	ISSUED NO.	24_051_M_06
DATE	Aug 21	SCALE	1:100
DRAWN	D.L.	CHECKED	P.T.
JOB TITLE		Brookway Court, Wythenshaw	
SERVICES TITLE		Ground Floor Mechanical Services	
		CIA ISO 9001 2015 ace Engineering	

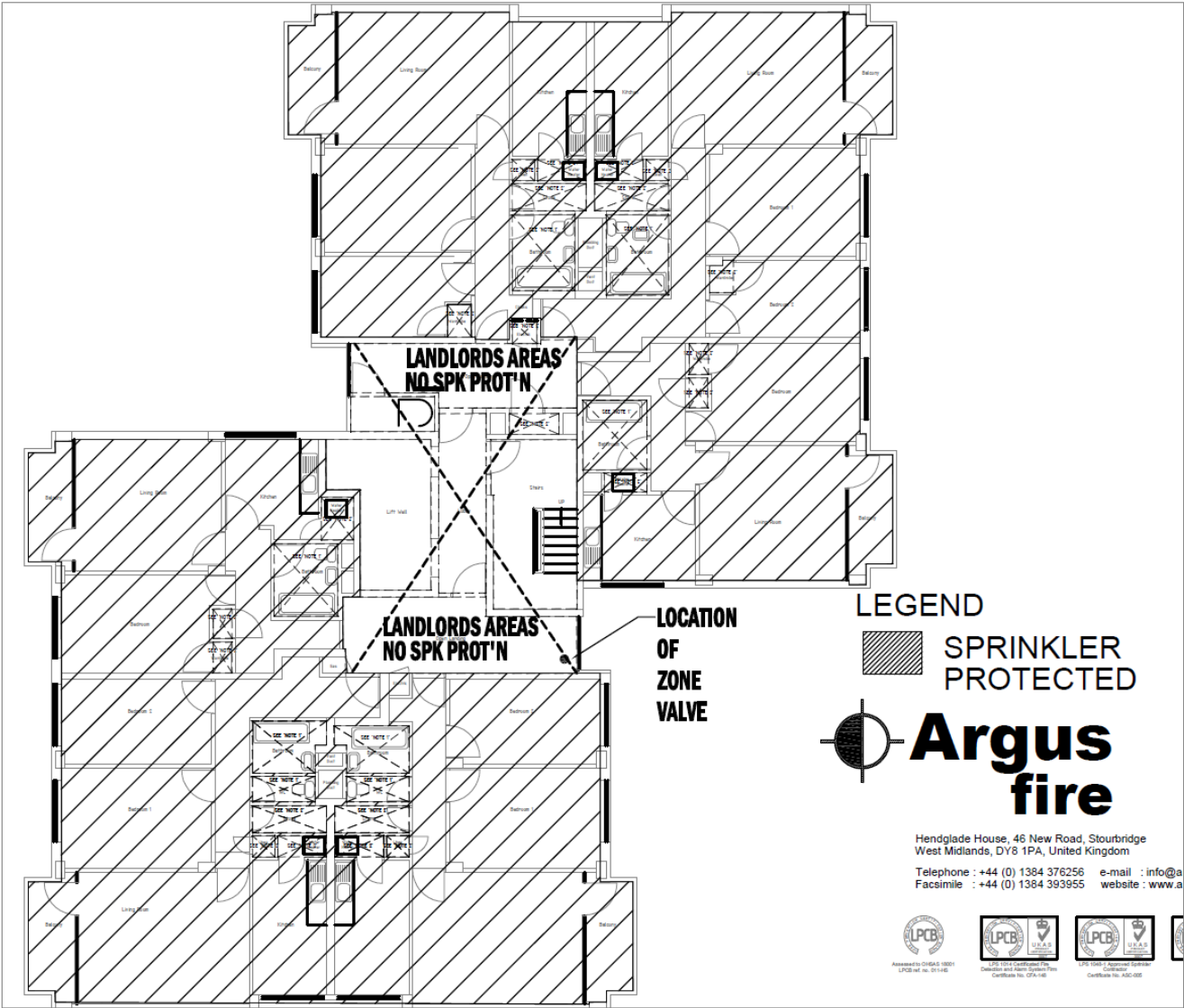
Sprinkler plan- Ground floor

1891-Brookway Court - Ground Floor



Sprinkler Plan – Intermediate floor

1891-Brookway Court - 1st - 16th Floor



Flat Conversion specification

BUILDING SPECIFICATION:

1.0 GENERAL

In accordance with ADIR7 - All workmanship and materials must comply with British Standard Codes of Practice, Building Regulations and any other statutory regulations or standards. All products and materials are to be fixed in strict accordance with the manufacturer's instructions, specifications and be suitable for their purpose in which they are intended. *The contractor shall take into account everything necessary for the proper execution of their works, to the satisfaction of the building control inspector whether or not it is indicated in this specification or on the associated drawings.* To limit thermal bridging and air leakage at junctions within the building envelope, works are to be carried out in accordance with the Accredited Construction Details as referenced in ADL15.

2.0 FOUNDATIONS

N/A

3.0 WALLS BELOW DPC

N/A

4.0 DPC

N/A

5.0 GROUND FLOOR

Make good to any damaged areas and level up to existing floor level.

6.0 WALLS ABOVE DPC

External Walls (brickwork) - N/A

Party Walls - To be in accordance with ADIE section 4.22-4.26 and diagram 4.2 (wall treatment 1) which stipulates the following- existing block wall (min. 100mm thick) to be plastered on both sides and a supported independent timber panel (min. 75x50mm studs) is to be erected on one side of the existing wall. Panel(s) to stand off from wall min. 10mm and receive 2no. layers of plasterboard with staggered joints, voids filled with a sound absorbing mineral wool with a min. density 10kg/m³ and min. 35mm thick. Alternatively use a proprietary compliant system such as Gyptner Universal Wall Lining.

<https://www.british-gypsum.com/literature/white-book/linings/gyptner-universal>, or similar approved.

Internal Walls (masonry) - Existing walls to receive 12.5mm plasterboard on dabs with skim finish.

Internal Walls (timber) - 75x50mm softwood studs spaced at 600mm c/c with timber sole and head plates securely fixed with voids fully filled with acoustic quilt insulation for increased sound insulation. Either side of studs lined with 12.5mm plasterboard and skim finish.

7.0 CAVITY CLOSERS

N/A

8.0 LINTELS

Pre-galvanized mild steel lintels to BS EN 10346:2015 are to be provided over all masonry openings.

9.0 STEEL

All steelwork fix by a structural engineer. Exposed steelwork to receive 2No. 12.5mm plasterboard linings with skim finish to give ½ hour fire resistance.

10.0 GLAZING

N/A

11.0 VENTILATION

System 1 - mechanical ventilators are to be provided to the following spaces:

Kitchen	- 30 l/s or 60 l/s adjacent to hob; 60 l/s elsewhere and ducted to the external air.
Utility Room	- 30 l/s and ducted to the external air.
Bedrooms	- 15 l/s and ducted to the external air.
Sanitary	- 6 l/s and ducted to the external air.

In conjunction with the above, all windows to habitable rooms to have opening lights equal to min. 1/20th of the room floor area to allow for purge ventilation. Background ventilation must be provided by manually controlled trickle vents built into window frames at a min. 5000mm² equivalent area for habitable rooms and min. 2500mm² equivalent area for wet rooms. To ensure good transfer of air throughout the dwelling undercut, above the floor finish, of min. area of 7800mm² to all internal doors (equivalent to 10mm undercut to a standard 760mm door) or 20mm undercut above the floorboards, or other surfaces, if the finish has not been fitted.

12.0 ROOF

N/A

13.0 DRAINAGE

Below Ground - Proximity of existing inspection chambers indicatively shown. All existing drainage around building area to have runs located and carefully exposed where appropriate. New inspection chambers fitted at changes of direction or connections with rodding facility for clearance of blockages. All new underground drainage to be 100mmØ with a min. gradient of 1:50 and any drains passing under the building are to be encased in concrete and sleeved or linted through load bearing walls.

Above Ground Internal - In accordance with ADH1, all the following waste pipe sizes shall be connected to a SVP or back inlet gully:

- Washbasin and bidet: 32mmØ waste pipe unless the length of waste pipe exceeds 1.7m then 40mmØ is to be used with 32mmØ trap with 75mm deep seal. Provide 50mmØ waste pipe where the length exceeds 3m.
- Bath and shower: 40mmØ waste pipe with 40mmØ trap and 50mm deep seal.
- Sink, existing and dishwashing machines: 40mmØ trap and 75mm deep seal.
- WC pan (outlet <80mm): 75mmØ waste pipe with 75mmØ trap and 50mm deep seal.
- WC pan (outlet >80mm): 100mmØ waste pipe with 100mmØ trap and 50mm deep seal.

Internal 100mmØ SVP's shall be connected to suitable flexible pipework and ducted through the roof-space and terminated at either a ridge or the vent at least 900mm above any adjacent openings that are within 3m. Internal soil pipes to be wrapped in min. 25mm mineral fibre quilt and fire stopped where it passes through intermediate floors and be encased full height with 2No. layers of 12.5mm plasterboard on 38x38mm sw framing.

Above Ground External - N/A

14.0 HEATING

New central heating system to be sized and installed by a suitably qualified Gas Safe Register™ heating engineer.

15.0 ELECTRICAL INSTALLATIONS

All installations to comply with IET Regulations. All fittings to comply with British Standards. Quantity and position of fittings in accordance with IET and ADM requirements. All switches & sockets for lighting and other equipment in habitable rooms at appropriate heights between 450mm and 1200mm from finished floor level. All sockets and switches located within kitchen areas are to be located min. 300mm from any adjacent sink or drain and min. 100mm from a cooker/hob. All fixed internal light fittings to be controllable and 100% energy efficient and should have lamps with a luminous efficacy greater than 45 lumen/circuit-watt and a total output greater than 400 lumen lamps.

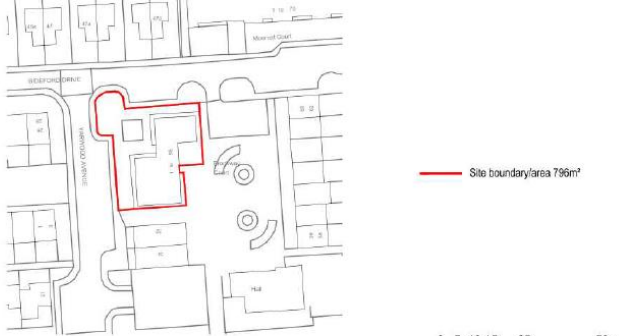
All electrical work to meet the requirements of ADP (Electrical Safety) and to be designed, installed, inspected and tested by a competent person. The following information should be issued to the BCB prior to completion on site:

- Evidence that work has been carried out by a person who is a member of a relevant 'Competent Person Scheme' or;
- The requirements of ADP have been complied with and that an appropriate BS 7671 electrical installation certificate has been issued by a competent person to do so.

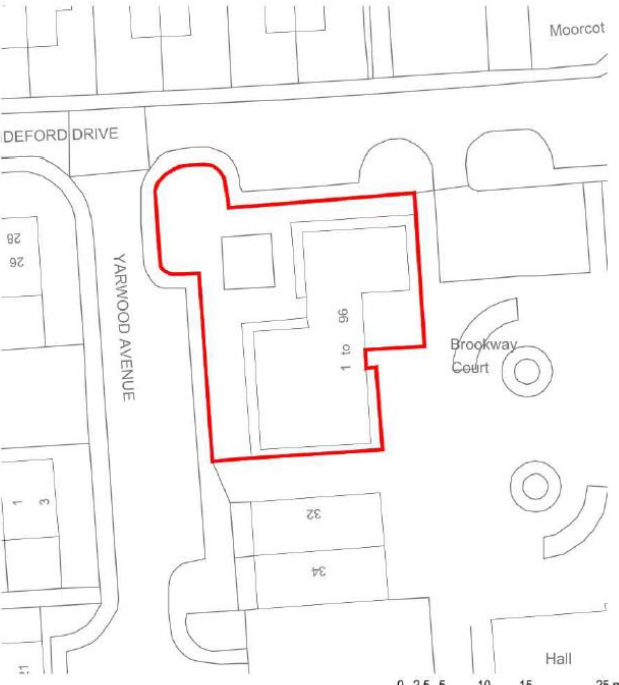
16.0 FIRE SAFETY

Smoke Detectors - Provide mains operated self contained smoke alarms to BS EN 14604 with battery back up and to be of at least Grade D Category LD3 standard to BS 5839-6. Located in the circulation space within 7.5m of the door to every habitable room. All systems to be designed and installed in accordance with ADB-Vol 1.

Fire Doors - Labelled on the drawing as 'FD30' where necessary.



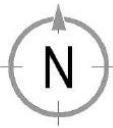
LOCATION PLAN @ 1:1250



BLOCK PLAN @ 1:500

DISCLAIMER

- DO NOT SCALE FROM THIS DRAWING.
- FOR THE AVOIDANCE OF DOUBT ALL DIMENSIONS ARE MEASURED TO WALL STRUCTURE UNLESS OTHERWISE STATED.
- ALL CONTRACTORS MUST VISIT THE SITE AND BE RESPONSIBLE FOR TAKING AND CHECKING DIMENSIONS.
- ANY DISCREPANCY TO BE FOUND BETWEEN DRAWINGS, SPECIFICATIONS AND SITE CONDITIONS MUST BE BROUGHT TO THE ATTENTION OF THE CLIENT'S SUPERVISING OFFICER.
- THE COPYRIGHT OF THIS DRAWING IS HELD BY AD DESIGN AND NO REPRODUCTION IS ALLOWED IN ANY WAY WITHOUT PRIOR PERMISSION.



Rev.	Description	Int.	Date
Drawing Status: BUILDING REGULATIONS			
Project: RESIDENTIAL FLAT CONVERSION (2no. 1 bed flats)			
Drawing Title: BLOCK & LOCATION PLAN BUILDING SPECIFICATION			
Client Information: WCHG FLAT 1, BROADWAY COURT BIDEFORD DRIVE WYTHENSHAW MANCHESTER M23 0GL			
Drawing Information: Dwg No.: 20.043.BR01 Sheet Size: Rev.: - Drawn: APD Chk'd: APD Date: 26.01.21 Scale: 1:500 / 1:250			
Company Information: AD DESIGN 5 Wheat Cross, Stockport, Alport, Or the Chester, M21 7JL T: 07789 484848 E: info@ad-design.co.uk			

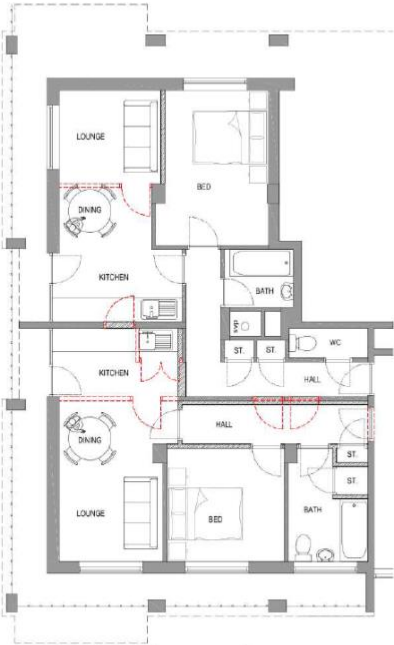
A3



Flat conversion before and After (completed as proposed)



FLOOR PLAN - existing
1:100



FLOOR PLAN - proposed
1:100

- DISCLAIMER:**
- DO NOT SCALE FROM THIS DRAWING.
 - ALL CONTRACTORS MUST VISIT THE SITE AND BE RESPONSIBLE FOR TAKING AND CHECKING DIMENSIONS.
 - ANY DISCREPANCY TO BE FOUND BETWEEN DRAWING SPECIFICATIONS AND SITE CONDITIONS MUST BE BROUGHT TO THE ATTENTION OF THE CLIENT/SUPERVISING OFFICER.
 - © THE COPYRIGHT OF THIS DRAWING IS HELD BY AD DESIGN AND NO REPRODUCTION IS ALLOWED IN ANY FORM WITHOUT PRIOR PERMISSION.

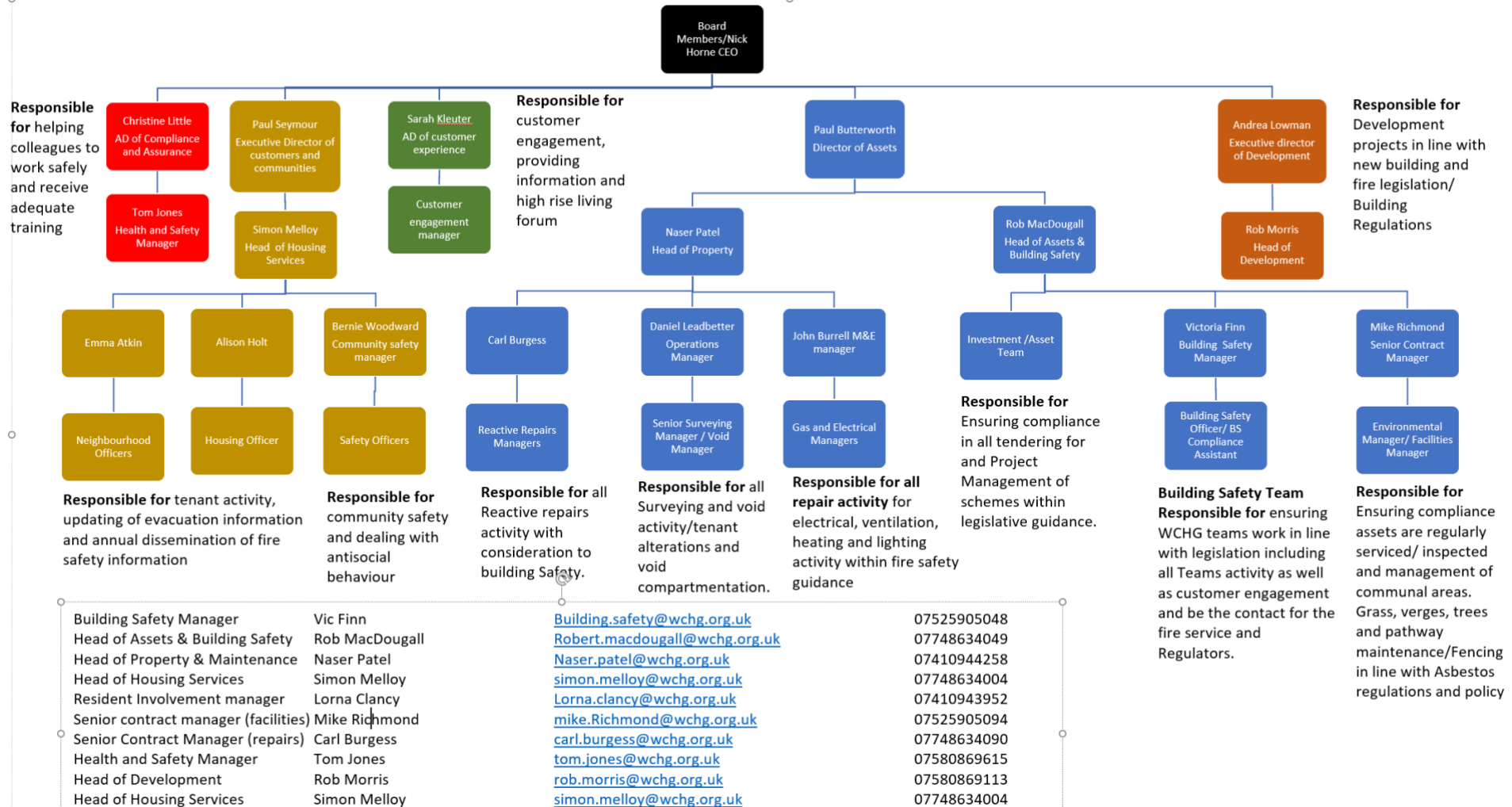
This drawing is for PLANNING purposes only. It is not intended to be used for construction purposes. While all reasonable efforts are used to ensure drawings are accurate, no responsibility or liability for any reliance placed on, or use made of, this plan by anyone for purposes other than those stated above.

- KEY**
- Existing wall/structure retained
 - Existing wall/structure removed
 - Proposed walls

Rev.	Description	By	Date
1	Drawing Status: PLANNING		
2	Project: RESIDENTIAL FLAT CONVERSION (2no. 1 bed flats)		
3	Drawing Title: FLOOR PLANS EXISTING & PROPOSED		
4	Client Information: WCHG FLAT 1, BROADWAY COURT BIDEFORD DRIVE WYTHENSHAW MANCHESTER M23 9GL		
5	Drawing Information: Dig No.: 20.043.PLO2 Sheet Size: A3		
6	Rev.: -		
7	Drawn: APD		
8	Check: APD		
9	Date: 00.12.20		
10	Scale: 1:100		
11	Company Information: AD DESIGN		
12	1 Wilton Close, Salford, Wigan, Cheshire WA1 3TJ		
13	T: 07794 42084 E: info@ad-design.co.uk		

Roles and Responsibilities

BUILDING SAFETY MANAGEMENT ROLES AND RESPONSIBILITIES- TRADITIONAL HRB's- V9



R

18. Appendix B – Surveys and Reports

Compartmentation survey



Date Submitted: 07/06/22 15:42

Sureserve Survey

Section 1

Client	Sureserve Fire & Electrical
Site Address	Brookway Court Wythenshawe
Date/Time	17/05/22

FRA Actions

Section 1

Action	16th Floor Tank Room
Description of Defect	Door and Frame Damage
Photos of Defect	 Three photographs showing significant damage to a door and its frame. The first photo shows a close-up of the door handle area where the frame is crumbling. The second photo shows the door itself, which is heavily damaged and sagging. The third photo shows the frame where the door is set, with visible structural damage and debris.
Description of Rectification	Replace door and Frame to FD30s
Action	16th Floor Cupboard Between Flats 94-93 Holes in Floor
Description of Defect	16th Floor Cupboard Between Flats 94-93 Holes in Floor
Photos of Defect	 A photograph showing a close-up of the floor between two flats. There are several large, irregular holes in the concrete floor, and some debris is visible. A red and blue striped object is partially visible in the foreground.
Description of Rectification	Firestopping to be done with Batt and mastic
Action	7th Floor Communal Door between Flats 39-41
Description of Defect	Full Door Upgrade

Sureserve Survey

Photos of Defect	
Description of Rectification	Full Door Upgrade
Action	7th Floor Communal Door
Description of Defect	Full Door Upgrade
Photos of Defect	
Description of Rectification	Full Door Upgrade
Action	7th Floor Bin Refuse Ceiling Fire Stopping
Description of Defect	7th Floor Bin Refuse Ceiling Fire Stopping

Sprinkler completion certificate

Argus Fire Sprinkler Completion Certificate

Completion Certificate for 1891 – Brookway Court

We Argus Fire Protection Company Ltd hereby certify that we have completed on 20th November 2019

An Automatic fire Sprinkler system which has been installed, tested and commissioned inline with the British standard 9251: 2014 – Fire Sprinkler systems for domestic & residential.

The Following list of properties have been refused access too:

Flat 1, Flat 2 and Flat 82

Number of Sprinklers	Type	Response	Temperature	K-factor
590	Extended Coverage Sidewall	SR	74 Degree C	80

other relevant information

The system has been designed and installed to the general requirements of BS9251; 2014

The system consists of 1 No. Main Pump wired directly from the primary single phase 415v incoming supply.

We have provided 17 No. Flow switches to each of the floors.

Where the sprinkler system has been refused, we have capped off the sprinkler feed mains outside of the flats ready for future connections.

This has also been configured so that on operation of a flow switch notification will be sent to the alarm panel on the ground floor detailing the level of the operating flow switch. There is also a flashing beacon / sounder on top of the ground floor panel which will give both a visual and audible alarm.

Date Sprinkler System Commissioned / Left Operational – 20th November 2019

Client's Acceptance:

.....
Signature / Name

.....
Position

Date :.....

Argus Fire Protection Co Ltd:

Kenny Winstanley – Senior Project Manager

.....
Signature / Name / Position

External Wall programme – Certificate of Conformity



Certificate of Conformity - NM3870

Page 1 of 2

This certificate is issued by the IFCC certified contractor in accordance with IFCC Certification Scheme Regulations and Procedures to indicate the compliance of a fire resistant installation. It confirms that the project has been completed having full regard to the requirements of the appropriate product specification and its installation/application instructions and that the claimed performance is substantiated by appropriate certification test and/or assessment evidence. Note: No changes shall be made to the installed products and systems without consulting the installer identified below. Failure to do so will invalidate this certificate.

Client Details	
Client name	A Connolly Ltd
Installation details	Brookway Court Bideford Road Wythenshawe Manchester M23 0GL United Kingdom
Completion date	03/03/2023
Contract ref	23180
Description of works	To carry out fire stopping to areas shown within the One Trace report. To supply and install Nullfire fire stop system to achieve up to 60 minute fire rating.
Scope of works	Refurbishment
Number of floors	
Number of doors	
Building type	Residential
Fire resistance	30 & 60 Minutes
Phase	
Items in scope of work not completed and exceptions	

Contractor Details			
Company name	Fire Industry Specialists Limited	IFCC Certificate Number	IFCC3014
Address	Unit 14/15 Cedar Parc Lincoln Road, Doddington Lincoln Lincolnshire LN5 4RR United Kingdom		
Phone	01522 708490		
Signatory for works	Brian Seaman		
Signature		Date	08/03/2023



Certificate of Conformity - NM3870

Page 2 of 2

Product type	Product brand	Product name
Service Penetration & Linear Gap Seals	Nullfire	FB750 Intubatt 2
Service Penetration & Linear Gap Seals	Nullfire	FB702 Intumastic
Service Penetration & Linear Gap Seals	Nullfire	FB709 HP Intumastic
Service Penetration & Linear Gap Seals	Nullfire	FP302 Intustrap

Details and reference numbers of company records for fire protection installations	
Labels used	
IFCC Fire door label numbers	

KEEPING **EVERYONE** SAFE

Would you or anyone in your household need help to evacuate your building in an emergency?

For example if you have any mobility issues or a visual impairment? Please let us know by calling 0800 633 5500. It may be necessary for an Officer to visit you in your home, and for a further visit from Greater Manchester Fire & Rescue Service.

Is your information up to date?

It is important we have up-to-date information for who lives in our buildings in case of an emergency. This means you need to update your resident information if someone moves in or out, or if you have any medical conditions.

Please scan the QR code or contact us on 0800 633 5500 to update your information now.



You may need to download a free QR Scanner using your App Store on older phones/tablets.



First Edition: Winter 2023

Wythenshawe Community Housing Group

Wythenshawe House, 8 Poundswick Lane, Wythenshawe, M22 9TA

Telephone: 0300 111 0000 · Freephone: 0800 633 5500 · www.wchg.org.uk

customerenquiries@wchg.org.uk

